



OWNER & CONSULTANTS

OWNER:	OKANAGAN METIS & ABORIGINAL HOUSING SOCIETY #107 - 150 KNELLER ROAD KELOWNA, BC, V1X 0A7 250-763-7747 SUSAN WALKER
	BC HOUSING #1701 - 4555 KINGSWAY BURNABY, BC, V5H 4V8 604-433-1711 ROY HUANG
ARCHITECT & APPLICANT:	STATION ONE ARCHITECTS 9355 YOUNG ROAD CHILLIWACK, BC, V2P 4S3 604-793-9445 CHELSEA MEULLER, ARCHITECT AIBC
DEVELOPMENT CONSULTANT:	TERRA SOCIAL PURPOSE REAL ESTATE 2750 RUPERT STREET VANCOUVER, BC, V5M 3T7 604-639-0479 RANJ DHALIWAL
CIVIL:	KM CIVIL CONSULTANTS LTD. #400 - GLADYS AVE ABBOTSFORD, BC, V2S 2E8 604-853-8831 STUART MCGREGOR, B. ENG., EIT
LANDSCAPE:	VAN DER ZALM + ASSOCIATES ONE WATER WEST, 1181 SUNSET DRIVE KELOWNA, BC, V1Y 0L4 604-882-0024 STEPHEN HELLER

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KWS & PRHC OFFICES

KELOWNA, BC

COVER SHEET

KWS HOUSING & PRHC OFFICES

KELOWNA, B.C.

SCALE 1/4" = 1'-0"
JOB NO. 22052

DP RESUBMISSION

2023.07.13

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Chilliwack
9355 Young Rd
V2P 4S3

Abbotsford
203-2190 W. Railway St
V2S 2E2

1	2023.06.21	DP SUBMISSION
2	2023.07.13	DP RESUBMISSION

station one architects

DP0.0

ZONING BYLAW ANALYSIS

SITE CONTEXT

EXISTING ZONE
PROPOSED ZONE
FUTURE LAND USE (2040 OCP)
TRANSIT SUPPORTED CORRIDOR
SUBDIVISION / CONSOLIDATION REQUIRED

RU 1 & RU 2 - SINGLE-FAMILY RESIDENTIAL
CA1r (PENDING SUBDIVISION & REZONING)
CORE AREA NEIGHBOURHOOD (C-NHD)
TRANSIT CORRIDOR ON HIGHWAY 33 W. TO THE SOUTH
YES

ADJACENT LAND USES

NORTH
SOUTH
EAST
WEST

ADJACENT ZONE
RU 1
PENDING REZONING
RU 1
MF2
RU 1

ADJACENT USE
SINGLE-FAMILY RESIDENTIAL
PENDING REZONING
SINGLE-FAMILY RESIDENTIAL
TOWNHOMES / ROW HOUSES
SINGLE-FAMILY RESIDENTIAL

SITE DETAILS

SITE AREA
SITE WIDTH
SITE DEPTH
BUILDING FOOTPRINT
IMPERMEABLE SURFACES (TABLE 2.1)
SITE COVERAGE OF BUILDING
SITE COVERAGE OF BUILDING + IMPERMEABLE SURFACES
VEHICULAR ACCESS FROM LANE OR LOWER CLASSED ROAD

ZONE REQUIREMENT
1,200 SM MIN.
40.0 M
30.0 M
1,890.11 SM (MAX)
75 %
85 %
NO

PROVIDED
2,907.854 SM
57.025 M
49.316 M
1,068.49 SM
981.12 SM
36.74 %
70.49 %

PRINCIPLE & SECONDARY USES

PRINCIPLE USES
RESIDENTIAL

SECONDARY USES
PROFESSIONAL SERVICES

DEVELOPMENT REGULATIONS

TOTAL NUMBER OF UNITS
FLOOR AREA (GROSS / NET)
BUILDING SETBACKS
FRONT (WEST)
SIDE (NORTH)
SIDE (SOUTH)
REAR (EAST)
MAX. CONTINUOUS BUILDING FRONTAGE

ZONE REQUIREMENT
3.1 PER 1,000 SM (MIN.)
3.0 M
3.0 M
3.0 M
4.5 M
100 M

PROVIDED
38 DU
4,089.09 SM (GROSS) / 3,103.23 SM (NET)
3.0 M
11.7 M
6.41 M
8.18 M
36.7 M (120.42 F)

DENSITY AND HEIGHT REGULATIONS (13.6, 14.4 ...)

MIN. DENSITY (TRANSIT CORRIDOR ONLY)
FLOOR AREA RATIO (FAR)
BASE FAR (COMMERCIAL)
BASE FAR (RESIDENTIAL)
BUILDING HEIGHT
OCP MAP DESIGNATED HEIGHT

ZONE REQUIREMENT
3.1 DU PER 1,000 SM
1.6 FAR
18.0 M / 4 STOREYS

PROVIDED
38 DU
1.067 FAR (NET 3,103.23 SM)
0.057 FAR (NET 155.72 SM)
1.01 FAR (NET 2,937.54 SM)
17.53 M / 4 STOREYS + ROOF AMENITY

AMENITY SPACE (13.5, 14.11, 14.13 ...)

TOTAL AMENITY SPACE
1-BEDROOM (8 DU x 15.0 SM)
2+-BEDROOM (30 DU x 25.0 SM)

ZONE REQUIREMENT
870 SM
120 SM
750 SM

PROVIDED
1,295.22 SM
109.25 SM (HUB & QUIET ROOMS)
206.23 SM (NORTH COURTYARD)
394.16 SM (SOUTH COURTYARD)
585.58 SM (ROOF TOP PATIO)

PARKING REGULATIONS (8.3)

RESIDENTIAL STALLS REQUIRED:
PER SLEEPING UNIT
ON-DUTY STAFF
VISITOR STALLS
RENTAL REDUCTION
BONUS BIKE PARKING REDUCTION
ACCESSIBLE STALLS
VAN ACCESSIBLE STALLS
COMMERCIAL STALLS REQUIRED:
COMMERCIAL OFFICE SPACE
TOTAL PARKING :
RESIDENTIAL
COMMERCIAL / VISITOR
RATIO OF PARKING STALLS
DRIVE AISLE WIDTH
DRIVE AISLE GRADE
LOADING STALLS (SECTION 8.4)

ZONE REQUIREMENT
0.35 x 84 SLEEPING UNITS
0.5 x ON-DUTY STAFF
0.14 x 38 DWELLING UNITS
32 STALLS x 10%
32 STALLS x 20%
2 STALLS
1 STALL (INCLUDED IN OVERALL ACC REQUIREMENT)
2.0 PER 100 SM GFA
28 STALLS
23 STALLS
5 STALLS
50% SMALL CAR MAX.
6.5 M
0 REQUIRED

PROVIDED
32 RESIDENT STALLS + 5 VISITOR STALLS
29 STALLS
3 STALLS
5 VISITOR STALLS
- 3 STALLS
- 6 STALLS
4 STALLS
28 STALLS
23 STALLS
5 STALLS
44.83% SMALL CAR (13 SMALL CAR STALLS)
6.5 M
GREATER THAN, OR EQUAL TO
2% SLOPE TO DRAINS
1 PROVIDED

BICYCLE PARKING REGULATIONS (8.5)

TOTAL STALLS REQUIRED (RESIDENTIAL):
LONG TERM (BONUS BIKE PARKING)
SHORT TERM (WITHIN 15 M OF ENTRANCE)
TOTAL STALLS REQUIRED (COMMERCIAL):
SHORT TERM
LONG TERM
TOTAL LONG TERM BIKE PARKING
GROUND-ANCHORED STALL RATIO (MIN.)
END OF TRIP FACILITY (TABLE 8.6.1)
BIKE WASH & REPAIR STATION

ZONE REQUIREMENT
1.5 STALLS x 38 DU
1 X STAFF
6 PER ENTRANCE
2 PER ENTRANCE
0.2 PER 100 SM GFA
58.4 BIKE STALLS
50%
0
YES

PROVIDED
57 STALLS
1 STALL
0.4 STALLS
58 STALLS
51.72%
0
YES

PROPERTY INFORMATION

CIVIC ADDRESS

CURRENT
239 KNELLER ROAD, KELOWNA, BC (KAP58054)
235 KNELLER ROAD, KELOWNA, BC (KAP58054)
175 KNELLER ROAD, KELOWNA, BC (EPP63257)
1161 KNELLER COURT, KELOWNA, BC (KAP73698)

PROPOSED

PENDING SUBDIVISION & REZONING APPLICATION

PID

023-602-317
023-602-333
030-339-405
030-339-413

LEGAL DESCRIPTION

LOT 1 SECTIONS 26 AND 27 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN KAP58054
LOT 2 SECTIONS 26 AND 27 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN KAP58054
LOT 1 DISTRICT LOT 27 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN EPP63257
LOT 2 SECTION 27 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN K EPP63257

PID

023-602-317
023-602-333
012-394-131
030-339-405

EASEMENTS, RIGHT OF WAYS, COVENANT AREAS

G4370 - RIGHT OF WAY IN FAVOUR OF WEST KOOTENAY POWER AND LIGHT COMPANY LIMITED
G4370 - RIGHT OF WAY IN FAVOUR OF WEST KOOTENAY POWER AND LIGHT COMPANY LIMITED
G4370 - RIGHT OF WAY IN FAVOUR OF WEST KOOTENAY POWER AND LIGHT COMPANY LIMITED
KF2096 - COVENANT IN FAVOUR OF THE CITY OF KELOWNA
G4370 - RIGHT OF WAY IN FAVOUR OF WEST KOOTENAY POWER AND LIGHT COMPANY LIMITED

UNIT BREAKDOWN

OVERALL		
NAME	# OF UNITS	# OF BEDS
1 BED	7	7
ACC 1 BED	1	1
ACC 2 BED	1	2
2 BED	15	30
3 BED	5	24
3 BED SPLIT	4	12
4 BED	2	8
TOTALS	38 UNITS	84 BEDS

BUILDING AREA BREAKDOWN

GROSS AREA		
LEVEL	SQFT	SM
LVL 1 - COM.	2,500.37	232.29
LVL 1 - RES.	9,000.78	836.20
LVL 2	10,924.48	1,014.92
LVL 3	10,794.48	1,002.84
LVL 4	10,794.48	1,002.84
TOTAL	44,014.59	4,089.09
NET AREA		
LEVEL	SQFT	SM
LVL 1 - COM.	1,783.83	165.72
LVL 1 - RES.	6,059.48	562.94
LVL 2	8,605.43	799.47
LVL 3	8,477.16	787.55
LVL 4	8,477.16	787.55
TOTAL	33,403.06	3,103.23



1 KNELLER COURT | LOOKING SOUTH



2 NORTHWEST CORNER | LOOKING SOUTHEAST



3 ACROSS KNELLER | LOOKING SOUTHWEST



4 NORTH NEIGHBOUR | LOOKING EAST



5 EAST NEIGHBOUR | LOOKING WEST



6 SOUTHWEST CORNER | LOOKING NORTHEAST



7 ACROSS KNELLER | LOOKING NORTHWEST

PROJECT DATA & ANALYSIS

KWS HOUSING & PRHC OFFICES

KELOWNA, B.C.

DP RESUBMISSION

SCALE 1/4" = 1'-0"
JOB NO. 22052

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Chilliwack
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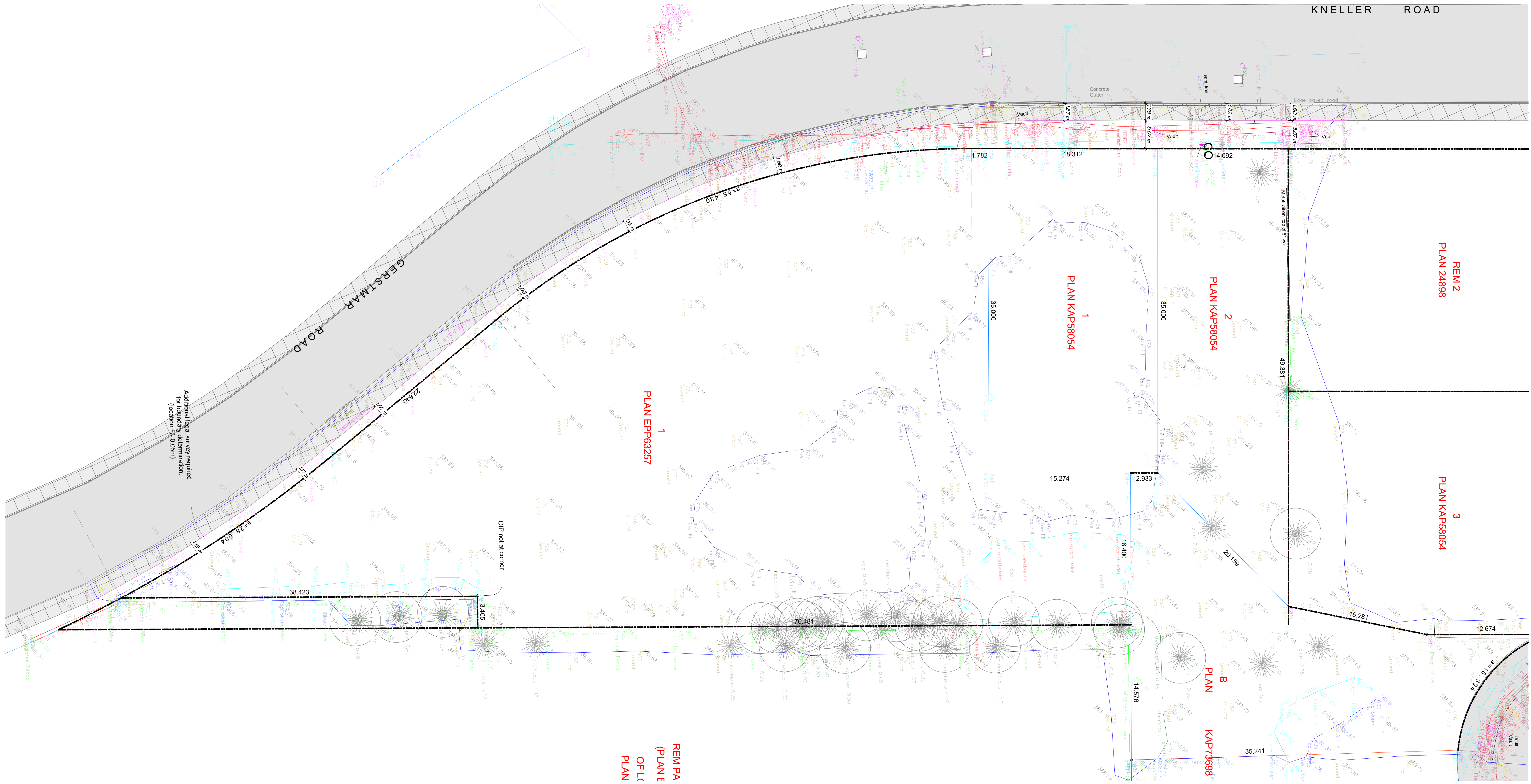
Abbotsford
203-2190 W. Railway St
V2S 2E2

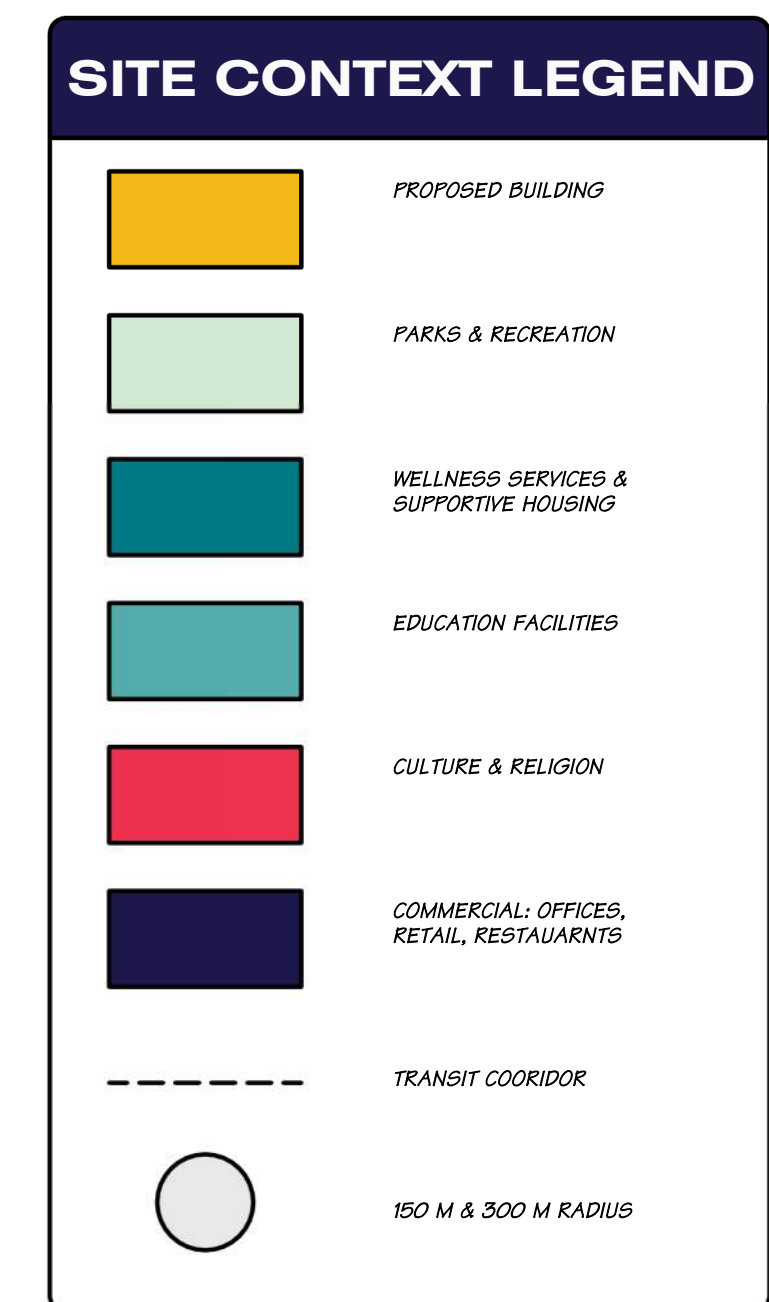
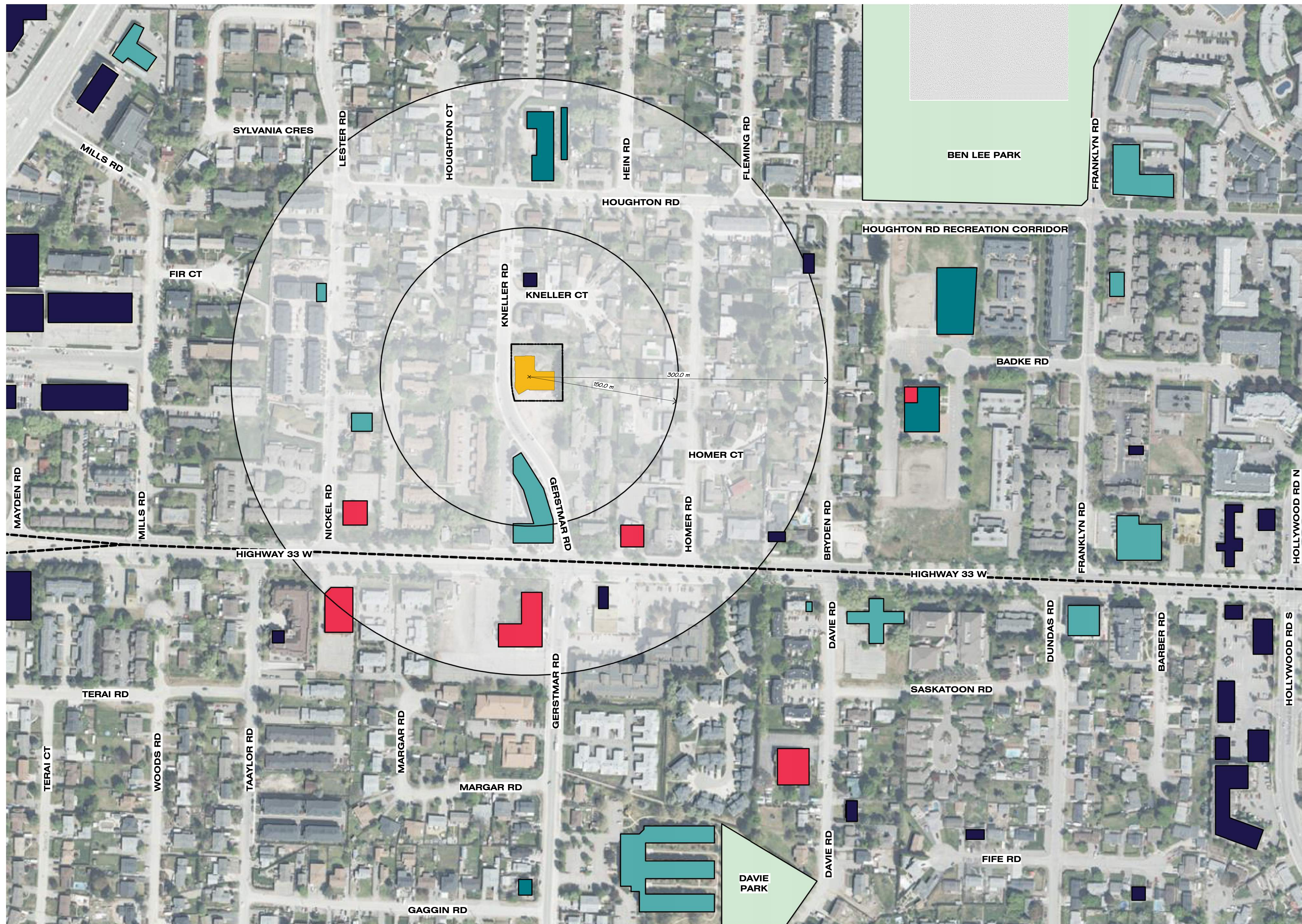
1 2023.06.21 DP SUBMISSION
2 2023.07.13 DP RESUBMISSION

station one architects

2023.07.13

DP0.1





 **SITE CONTEXT PLAN**
1" = 160'-0"

SITE CONTEXT PLAN
KWS HOUSING & PRHC OFFICES
KELOWNA, B.C.

SCALE: As indicated
JOB NO. 22052

DP RESUBMISSION
2023.07.13

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STREETSCAPE LOOKING EAST

3/32" = 1'-0"



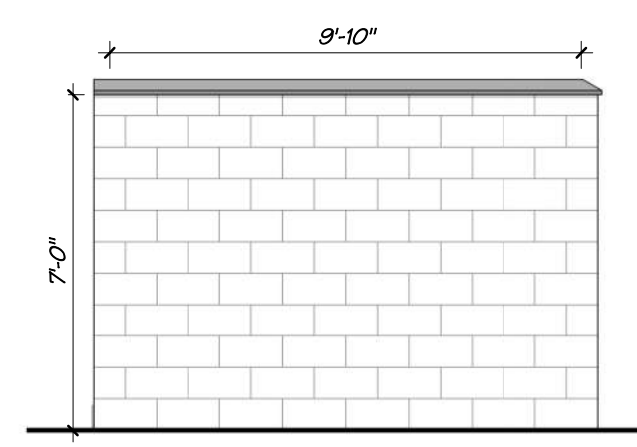
STREETSCAPE LOOKING SOUTH

3/32" = 1'-0"

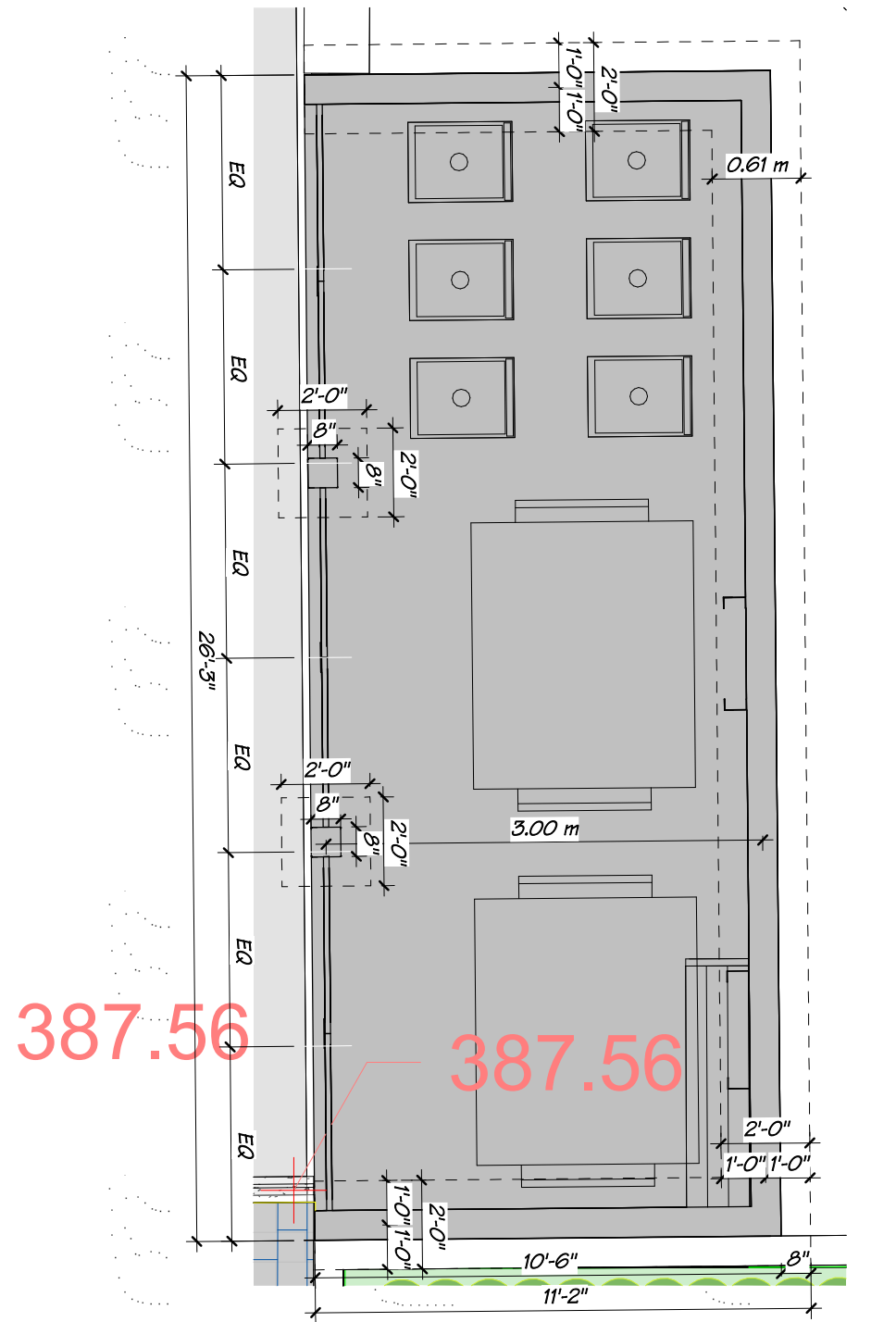


SITE LEGEND	
	SIDEWALK & PATHWAYS
	PAVERS
	CONCRETE PATH
	ROAD & RAMP
	PROPOSED BUILDING
	GRASS / LAWN SEE LANDSCAPING DRAWINGS
	ARTIFICIAL TURF SEE LANDSCAPING DRAWINGS
	GROUND-COVER PLANTING SEE LANDSCAPING DRAWINGS
	SHRUBBERY SEE LANDSCAPING DRAWINGS

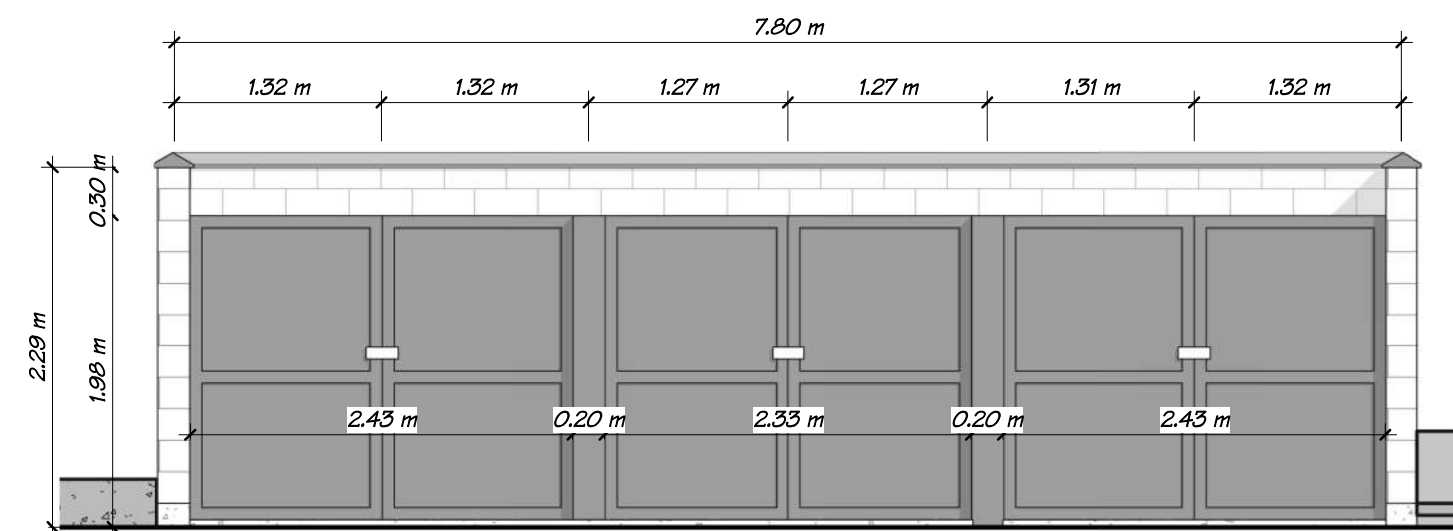
SITE SYMBOL LEGEND		
	GRID REFERENCE	MISC. SYMBOLS
	ROOM MARKER	HB HOSE BIB
	SECTION MARKER	RWL RAIN WATER LEADER
	DETAIL MARKER	GB GAS BIB
	PROPERTY LINE	C.B. CATCH BASIN. SEE CIVIL
	SETBACK LINE	L.D. LAWN DRAIN. SEE CIVIL
		LT LIGHT FIXTURE. SEE ELECTRICAL
		FENCE



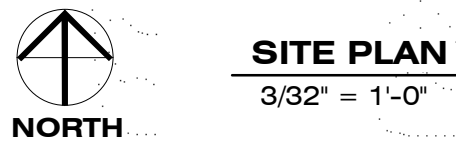
3 GARBAGE ENCLOSURE WIDTH
1/4" = 1'-0"



2 DETAIL - GARBAGE ENCLOSURE
PLAN DETAIL 1/4" = 1'-0"



4 GARBAGE ENCLOSURE LENGTH
1/4" = 1'-0"



SITE PLAN
3/32" = 1'-0"

SITE PLAN
KWS HOUSING & PRHC OFFICES
KELOWNA, B.C.

SCALE As indicated
JOB NO. 22052

DP RESUBMISSION

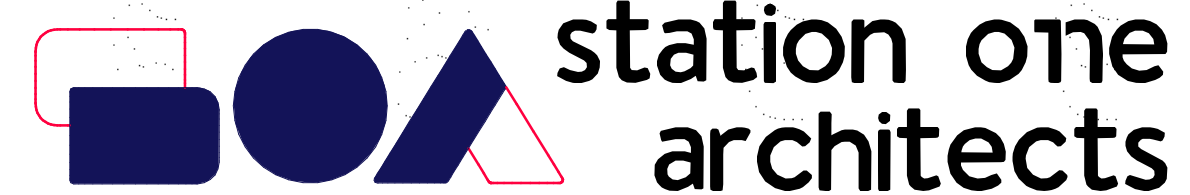
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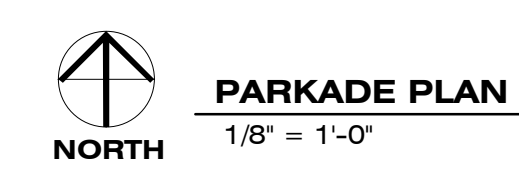
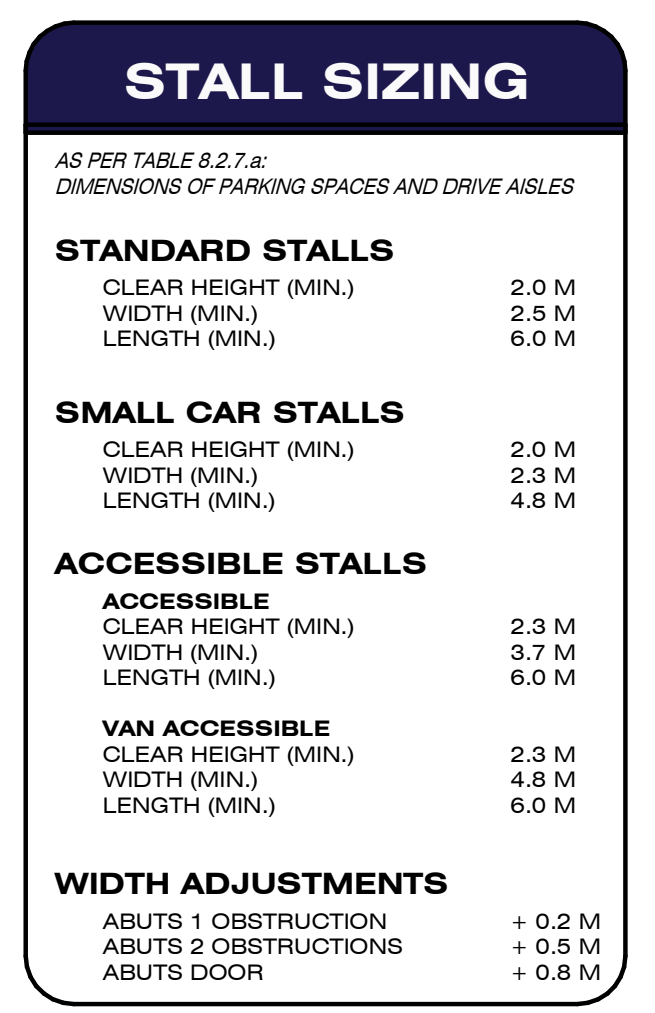
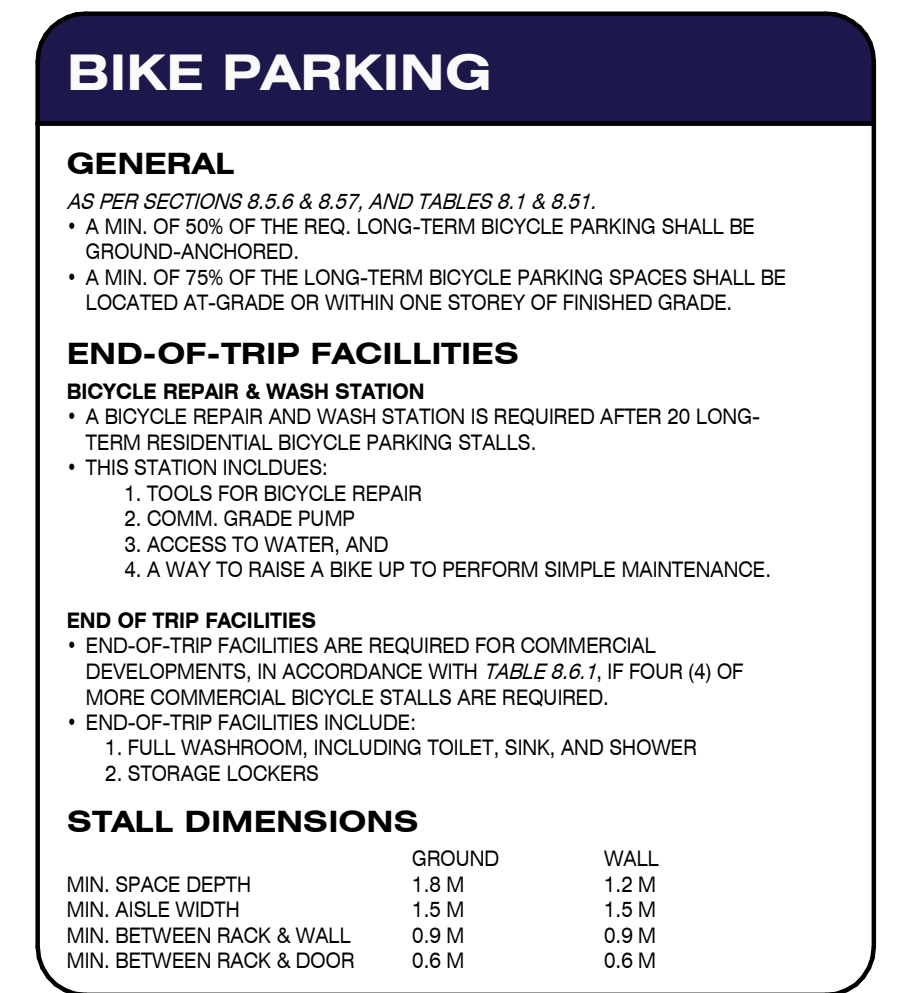
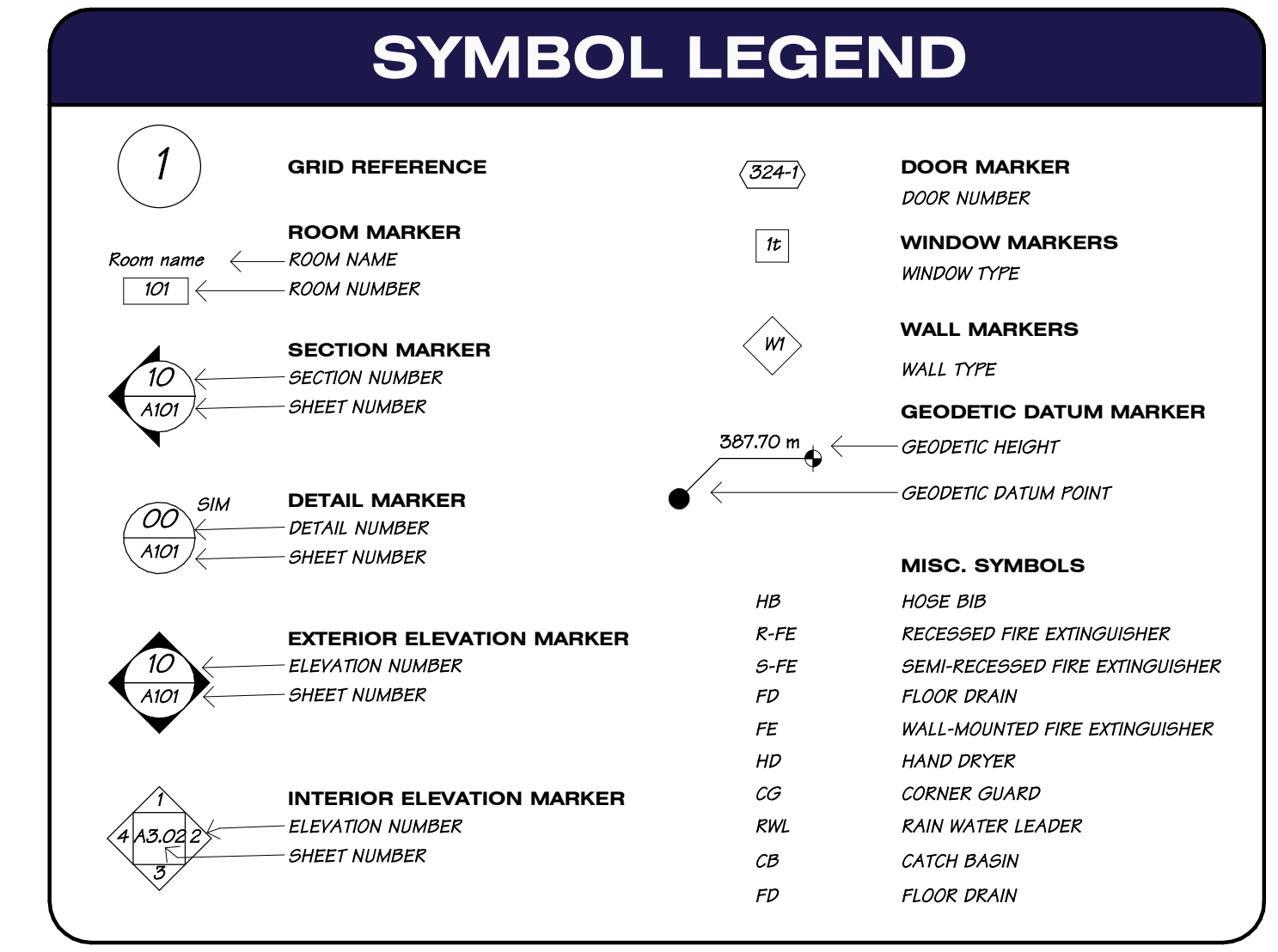
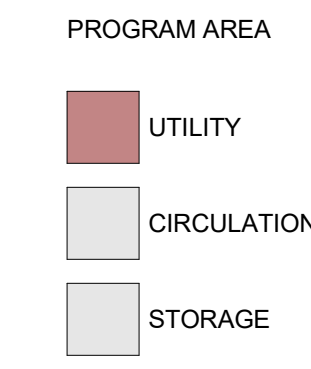
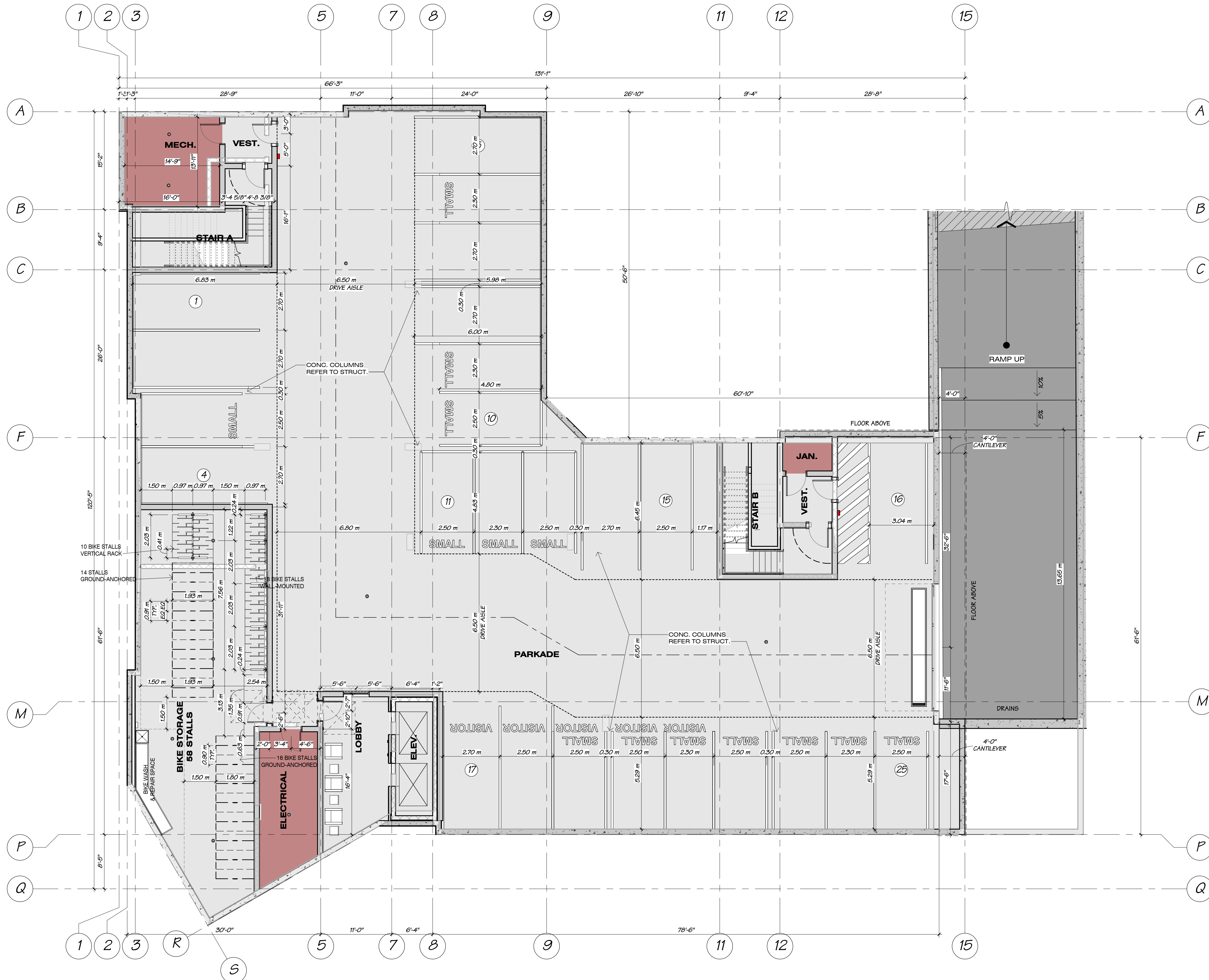
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V2P 4S3

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203-2190 W. Railway St
V2S 2E2

1 2023.06.21 DP SUBMISSION
2 2023.07.13 DP RESUBMISSION







- PROGRAM AREA
- 1 BED
 - 3 BED (2 STOREYS)
 - ACC 1 BED
 - ACC 2 BED
 - AMENITY
 - KWS OFFICES
 - UTILITY
 - RESIDENT OFFICES
 - CIRCULATION

SYMBOL LEGEND			
1	GRID REFERENCE	(324-1)	DOOR MARKER
			DOOR NUMBER
Room name	ROOM MARKER	12	WINDOW MARKERS
← ROOM NAME	← ROOM NUMBER		WINDOW TYPE
10	SECTION MARKER	W1	WALL MARKERS
← SECTION NUMBER	← SHEET NUMBER		WALL TYPE
00	DETAIL MARKER	367.70 m	GEODETIC DATUM MARKER
← SIM	← DETAIL NUMBER	←	← GEODETIC HEIGHT
← A101	← SHEET NUMBER		← GEODETIC DATUM POINT
10	EXTERIOR ELEVATION MARKER		MISC. SYMBOLS
← ELEVATION NUMBER	← SHEET NUMBER		HB HOSE BIB
1	INTERIOR ELEVATION MARKER		R-FE RECESSED FIRE EXTINGUISHER
← ELEVATION NUMBER	← SHEET NUMBER		S-FE SEMI-RECESSED FIRE EXTINGUISHER
			FD FLOOR DRAIN
			FE WALL-MOUNTED FIRE EXTINGUISHER
			HD HAND DRYER
			CG CORNER GUARD
			RWL RAIN WATER LEADER
			CB CATCH BASIN
			FD FLOOR DRAIN

1ST LEVEL FLOORPLAN
 1/8" = 1'-0"
1ST FLOOR PLAN
KWS HOUSING & PRHC OFFICES
 KELOWNA, B.C.

DP RESUBMISSION
 SCALE: As indicated
 JOB NO. 22052
 2023.07.13

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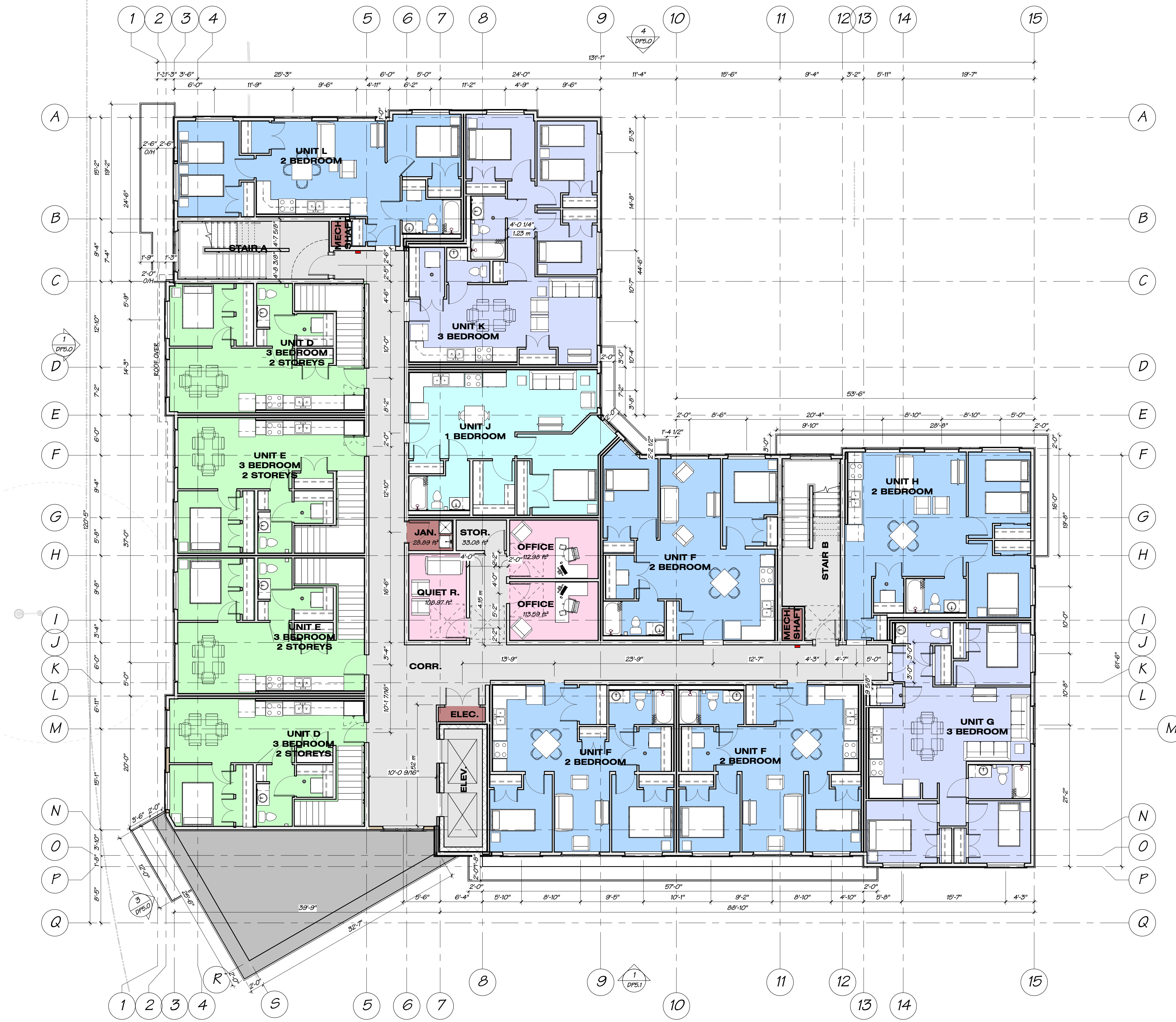
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 203-2190 W. Railway St
 V2S 2E2

2 2023.07.13 DP RESUBMISSION
 3 2023.07.11 50% DRAFT



DP2.0



PROGRAM AREA

[Light Blue]	1 BED
[Medium Blue]	2 BED
[Dark Blue]	3 BED
[Green]	3 BED (2 STOREYS)
[Red]	UTILITY
[Pink]	RESIDENT OFFICES
[Grey]	CIRCULATION
[Light Grey]	STORAGE

SYMBOL LEGEND

1	GRID REFERENCE	(324-1)	DOOR MARKER
Room name	ROOM MARKER	12	WINDOW MARKERS
101	ROOM NAME	W1	WINDOW TYPE
ROOM NUMBER			WALL MARKERS
			WALL TYPE
10	SECTION MARKER	367.70 m	GEODETIC DATUM MARKER
10	SECTION NUMBER	GEODETIC HEIGHT	GEODETIC DATUM POINT
A101	SHEET NUMBER		
00	DETAIL MARKER		
00	DETAIL NUMBER		
A101	SHEET NUMBER		
10	EXTERIOR ELEVATION MARKER		
10	ELEVATION NUMBER		
A101	SHEET NUMBER		
1	INTERIOR ELEVATION MARKER		
1	ELEVATION NUMBER		
4/3.02/2	SHEET NUMBER		

HB	MISC. SYMBOLS
R-FE	HOSE BIB
S-FE	RECESSED FIRE EXTINGUISHER
FD	SEMI-RECESSED FIRE EXTINGUISHER
FE	FLOOR DRAIN
HD	WALL-MOUNTED FIRE EXTINGUISHER
CG	HAND DRYER
RWL	CORNER GUARD
CB	RAIN WATER LEADER
FD	CATCH BASIN
	FLOOR DRAIN

2ND FLOOR PLAN
1/8" = 1'-0"

2ND FLOOR PLAN
KWS HOUSING & PRHC OFFICES
KELOWNA, B.C.

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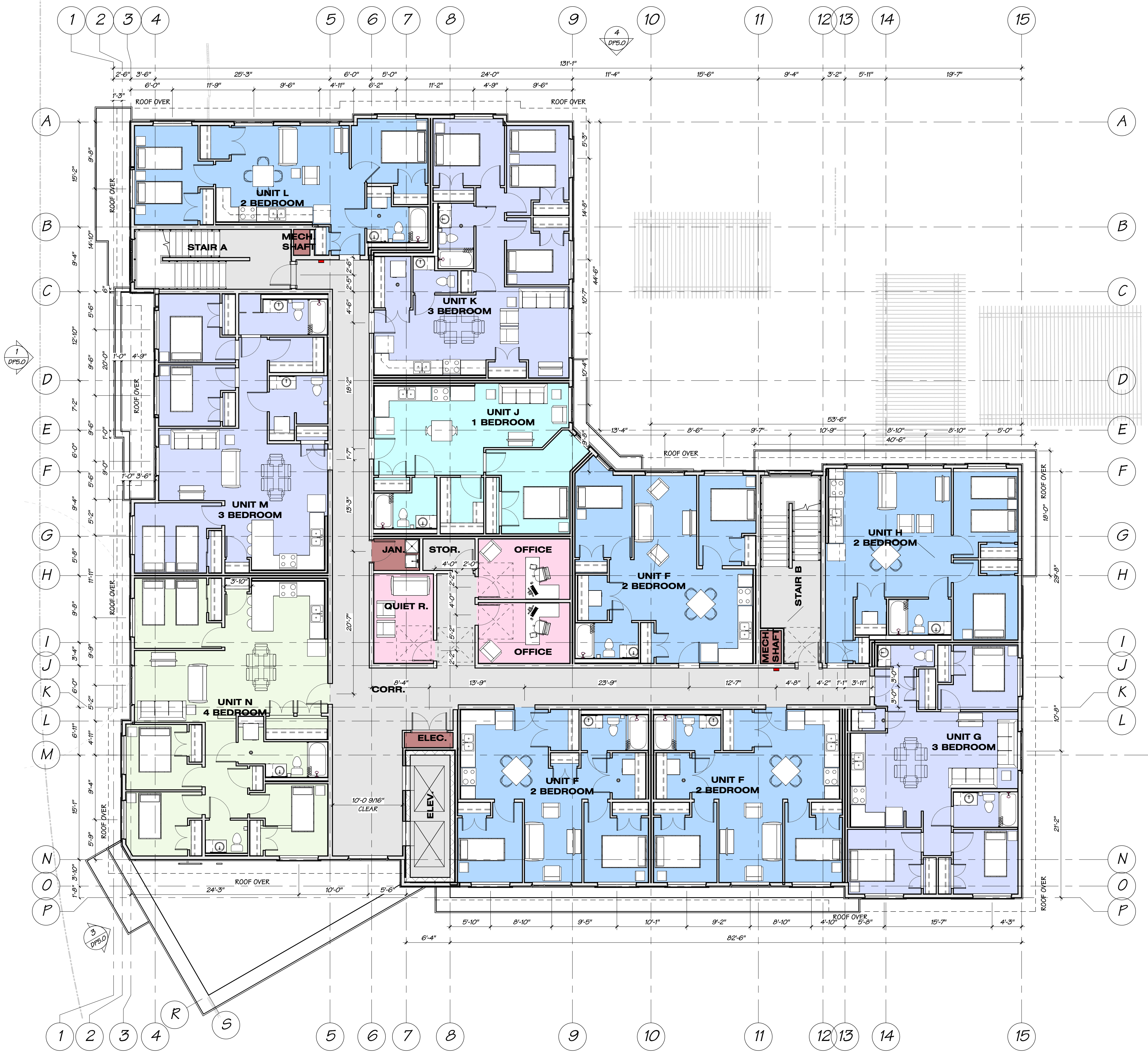
DP2.1

PROGRAM AREA

- 1 BED
- 2 BED
- 3 BED
- 4 BED
- UTILITY
- RESIDENT OFFICES
- CIRCULATION
- STORAGE

SYMBOL LEGEND

1	GRID REFERENCE	(324-1)	DOOR MARKER
	ROOM MARKER	12	WINDOW MARKERS
Room name 101	ROOM NAME ROOM NUMBER	W1	WALL MARKERS
			WALL TYPE
10	SECTION MARKER		GEODETIC DATUM MARKER
101	SECTION NUMBER SHEET NUMBER	387.70 m	GEODETIC HEIGHT
		387.70 m	GEODETIC DATUM POINT
00	DETAIL MARKER		MISC. SYMBOLS
001	DETAIL NUMBER SHEET NUMBER	HB	HOSE BIB
		R-FE	RECESSED FIRE EXTINGUISHER
10	EXTERIOR ELEVATION MARKER	S-FE	SEMI-RECESSED FIRE EXTINGUISHER
101	ELEVATION NUMBER SHEET NUMBER	FD	FLOOR DRAIN
		FE	WALL-MOUNTED FIRE EXTINGUISHER
1	INTERIOR ELEVATION MARKER	HD	HAND DRYER
1/3.02/3	ELEVATION NUMBER SHEET NUMBER	CG	CORNER GUARD
		RWL	RAIN WATER LEADER
		CB	CATCH BASIN
		FD	FLOOR DRAIN



3RD FLOOR PLAN
1/8" = 1'-0"

3RD FLOOR PLAN
KWS HOUSING & PRHC OFFICES
KELOWNA, B.C.

DP RESUBMISSION

SCALE As indicated
JOB NO. 22052

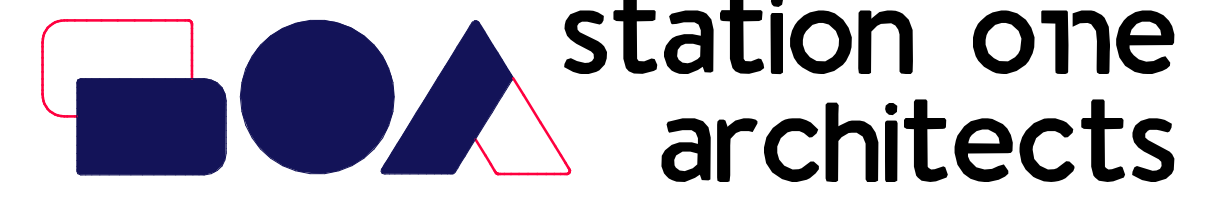
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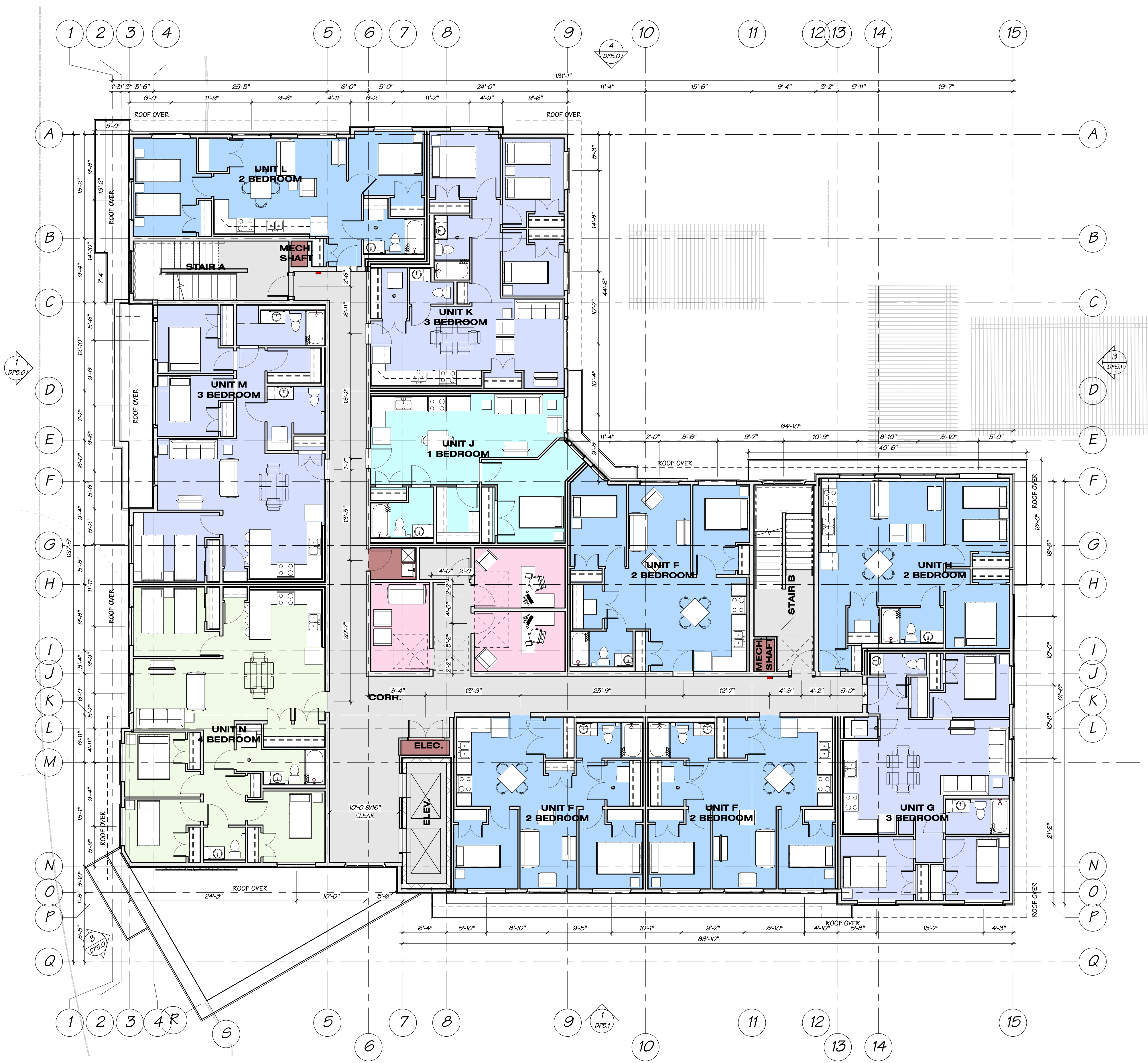
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2 2023.07.13 DP RESUBMISSION



DP2.2

SYMBOL LEGEND			
	GRID REFERENCE		DOOR MARKER
	ROOM MARKER		WINDOW MARKERS
	SECTION MARKER		WALL MARKERS
	DETAIL MARKER		GEODETIC DATUM MARKER
	EXTERIOR ELEVATION MARKER		MISC. SYMBOLS
	INTERIOR ELEVATION MARKER		

- PROGRAM AREA
- 1 BED
 - 2 BED
 - 3 BED
 - 4 BED
 - UTILITY
 - RESIDENT OFFICES
 - CIRCULATION
 - STORAGE



4TH FLOOR PLAN
1/8" = 1'-0"

4TH FLOOR PLAN
KWS HOUSING & PRHC OFFICES
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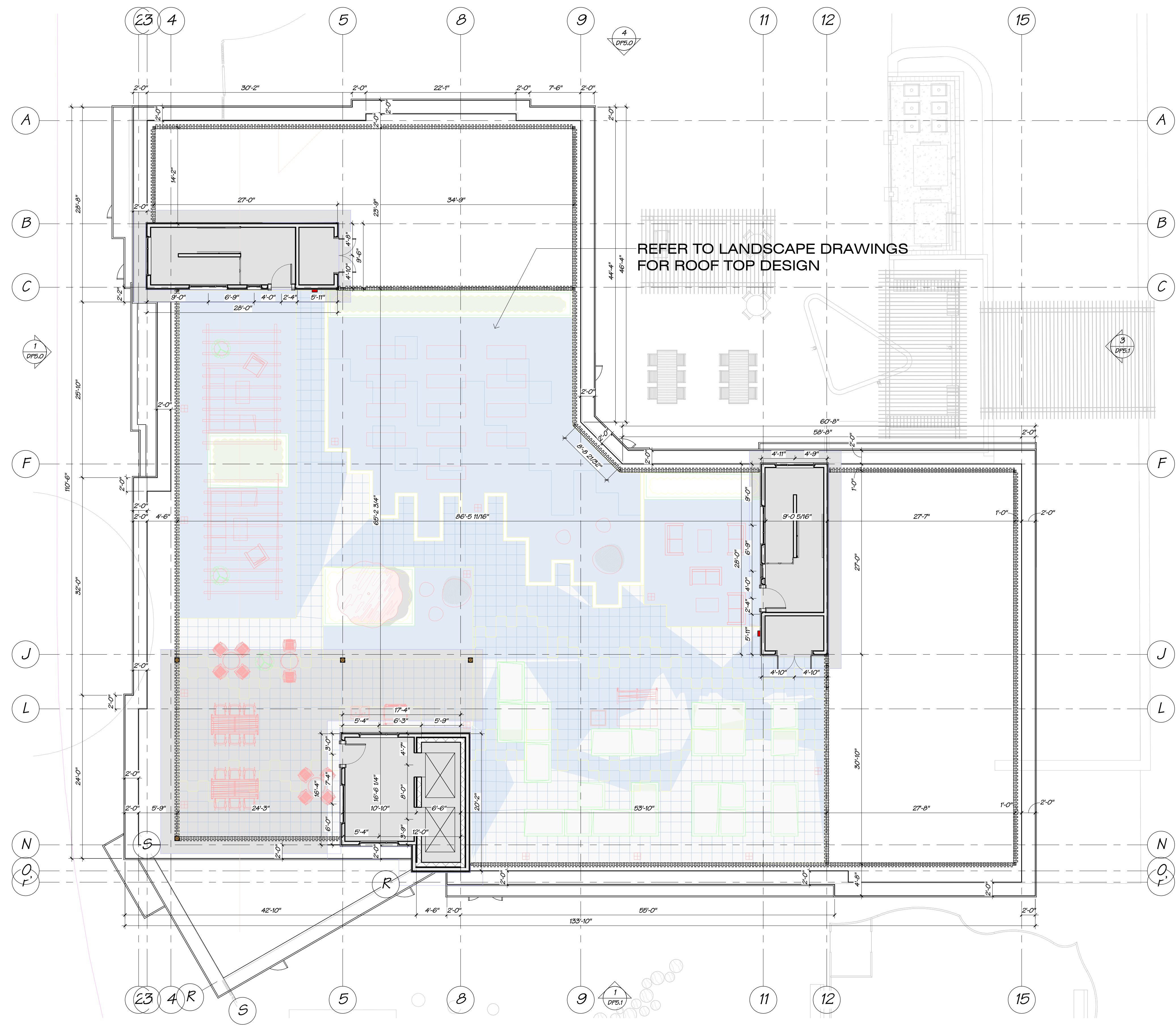
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DP2.3

SYMBOL LEGEND

1	GRID REFERENCE	(324-1)	DOOR MARKER
			DOOR NUMBER
Room name	ROOM MARKER	12	WINDOW MARKERS
← ROOM NAME	← ROOM NUMBER		WINDOW TYPE
10	SECTION MARKER	W1	WALL MARKERS
← SECTION NUMBER	← SHEET NUMBER		WALL TYPE
00	DETAIL MARKER	387.70 m	GEODETTIC DATUM MARKER
← SIM	← DETAIL NUMBER	← GEODETTIC HEIGHT	← GEODETTIC DATUM POINT
← A101	← SHEET NUMBER		
10	EXTERIOR ELEVATION MARKER		MISC. SYMBOLS
← ELEVATION NUMBER	← SHEET NUMBER		HB HOSE BIB
1	INTERIOR ELEVATION MARKER		R-FE RECESSED FIRE EXTINGUISHER
← ELEVATION NUMBER	← SHEET NUMBER		S-FE SEMI-RECESSED FIRE EXTINGUISHER
			FD FLOOR DRAIN
			FE WALL-MOUNTED FIRE EXTINGUISHER
			HD HAND DRYER
			CG CORNER GUARD
			RWL RAIN WATER LEADER
			CB CATCH BASIN
			FD FLOOR DRAIN



ROOFTOP PATIO PLAN
1/8" = 1'-0"

ROOFTOP PATIO PLAN
KWS HOUSING & PRHC OFFICES
KELOWNA, B.C.

DP RESUBMISSION

SCALE As indicated
JOB NO. 22052

2023.07.13

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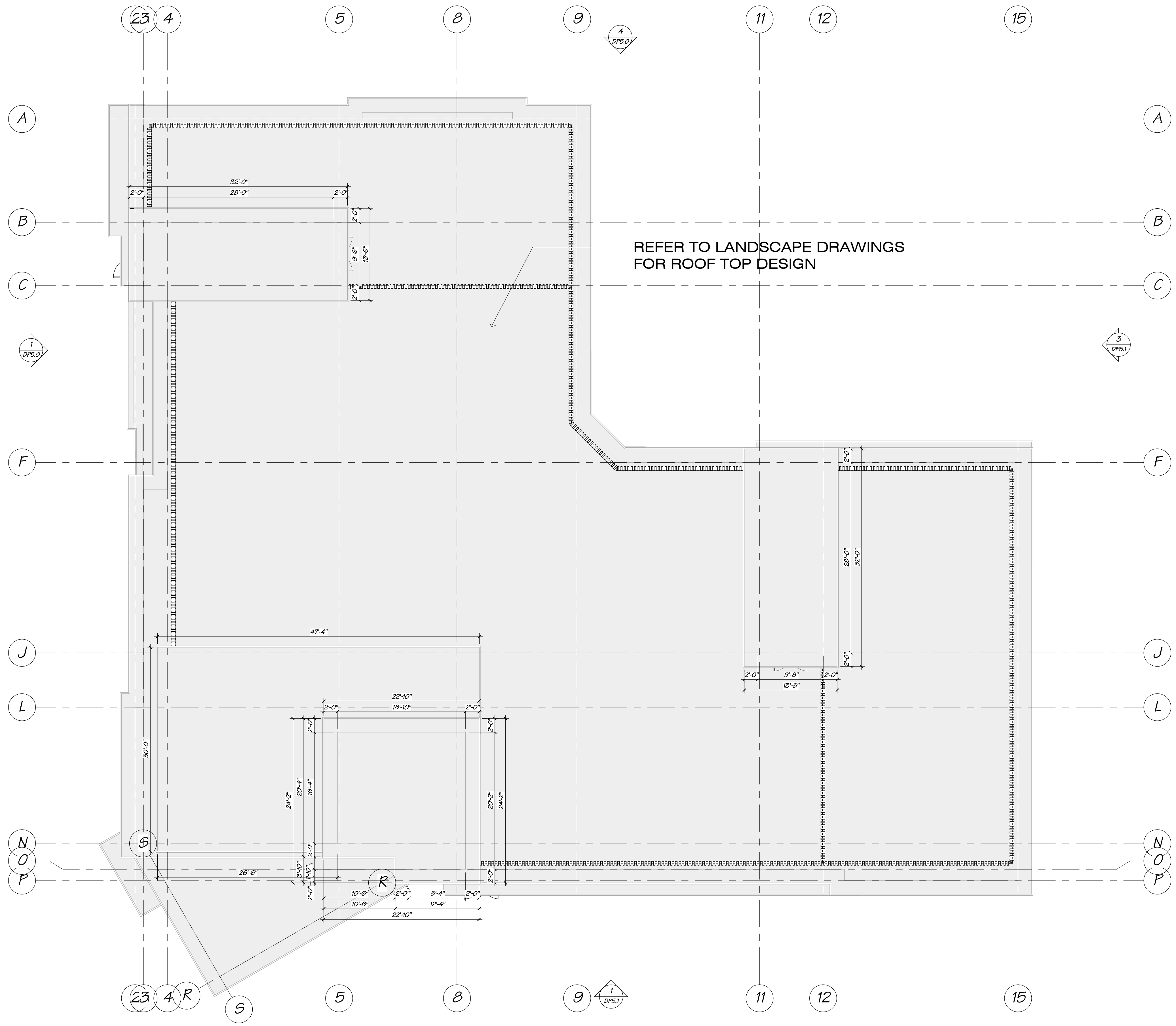
Abbotsford
203-2190 W. Railway St
V2S 2E2

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2 2023.07.13 DP RESUBMISSION



SYMBOL LEGEND

1	GRID REFERENCE	(324-1)	DOOR MARKER
			DOOR NUMBER
Room name	ROOM MARKER	12	WINDOW MARKERS
← ROOM NAME	← ROOM NUMBER		WINDOW TYPE
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← SECTION NUMBER	← SHEET NUMBER		WALL TYPE
00	DETAIL MARKER	387.70 m	GEODETTIC DATUM MARKER
← DETAIL NUMBER	← SHEET NUMBER	←	GEODETTIC HEIGHT
		←	GEODETTIC DATUM POINT
10	EXTERIOR ELEVATION MARKER		MISC. SYMBOLS
← ELEVATION NUMBER	← SHEET NUMBER		HB HOSE BIB
			R-FE RECESSED FIRE EXTINGUISHER
			S-FE SEMI-RECESSED FIRE EXTINGUISHER
			FD FLOOR DRAIN
			FE WALL-MOUNTED FIRE EXTINGUISHER
			HD HAND DRYER
			CG CORNER GUARD
			RWL RAIN WATER LEADER
			CB CATCH BASIN
			FD FLOOR DRAIN
1	INTERIOR ELEVATION MARKER		
← ELEVATION NUMBER	← SHEET NUMBER		



UPPER ROOF PLAN
1/8" = 1'-0"

UPPER ROOF PLAN
KWS HOUSING & PRHC OFFICES
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DP2.5
station one
architects



EXTERIOR FINISH SCHEDULE	
1	TRIM, FASCIA, WINDOW FRAMES, & RAILINGS PAINTED DARK GREY
2	WALL FIBRE-CEMENT SMOOTH LAPSIDING JAMES HARDIE COBBLESTONE
3	WALL FIBRE-CEMENT CEDARMILL LAPSIDING TRUEGRAIN TWO-TONE FISHER COATINGS SUMMER WHEAT
4	WALL FIBRE-CEMENT STRAIGHT SHINGLE JAMES HARDIE EVENING BLUE
5	WALL MANUFACTURED, NATURAL STONE VENER MUTUAL MATERIALS FALLS CREEK
6	GLAZING PREFABRICATED VINYL FRAME WINDOW INTERIOR: FACTORY WHITE EXTERIOR: FACTORY BLACK
7	ENTRY COLUMNS & TRELLIS STAINED ROUGH-SAWN GLULAM FACTORY STAIN TO MATCH SIDING

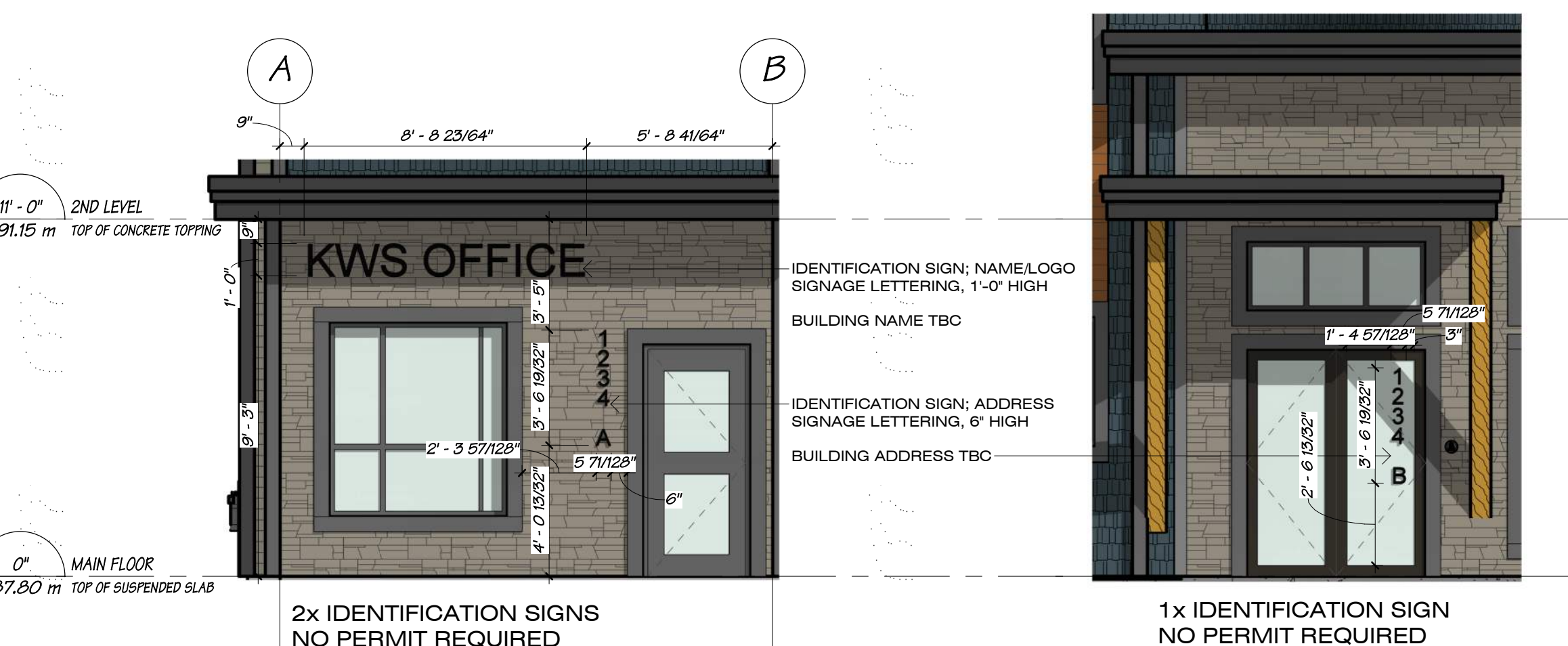
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2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION

1 WEST ELEVATION
DP5.0 1/8" = 1'-0"



4 NORTH ELEVATION
DP5.0 1/8" = 1'-0"



2 OFFICE IDENTIFICATION SIGNS
DP5.0 1/4" = 1'-0"

3 RESIDENTIAL IDENTIFICATION SIGN
DP5.0 1/4" = 1'-0"

ELEVATIONS

KWS HOUSING & PRHC OFFICES

KELOWNA, B.C.

SCALE As indicated
JOB NO. 22052

DP RESUBMISSION

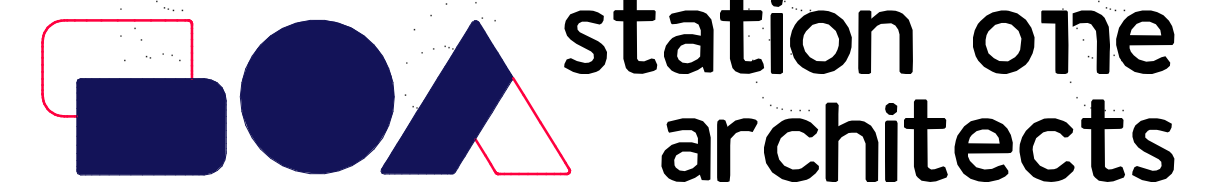
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DP5.0
station one
architects

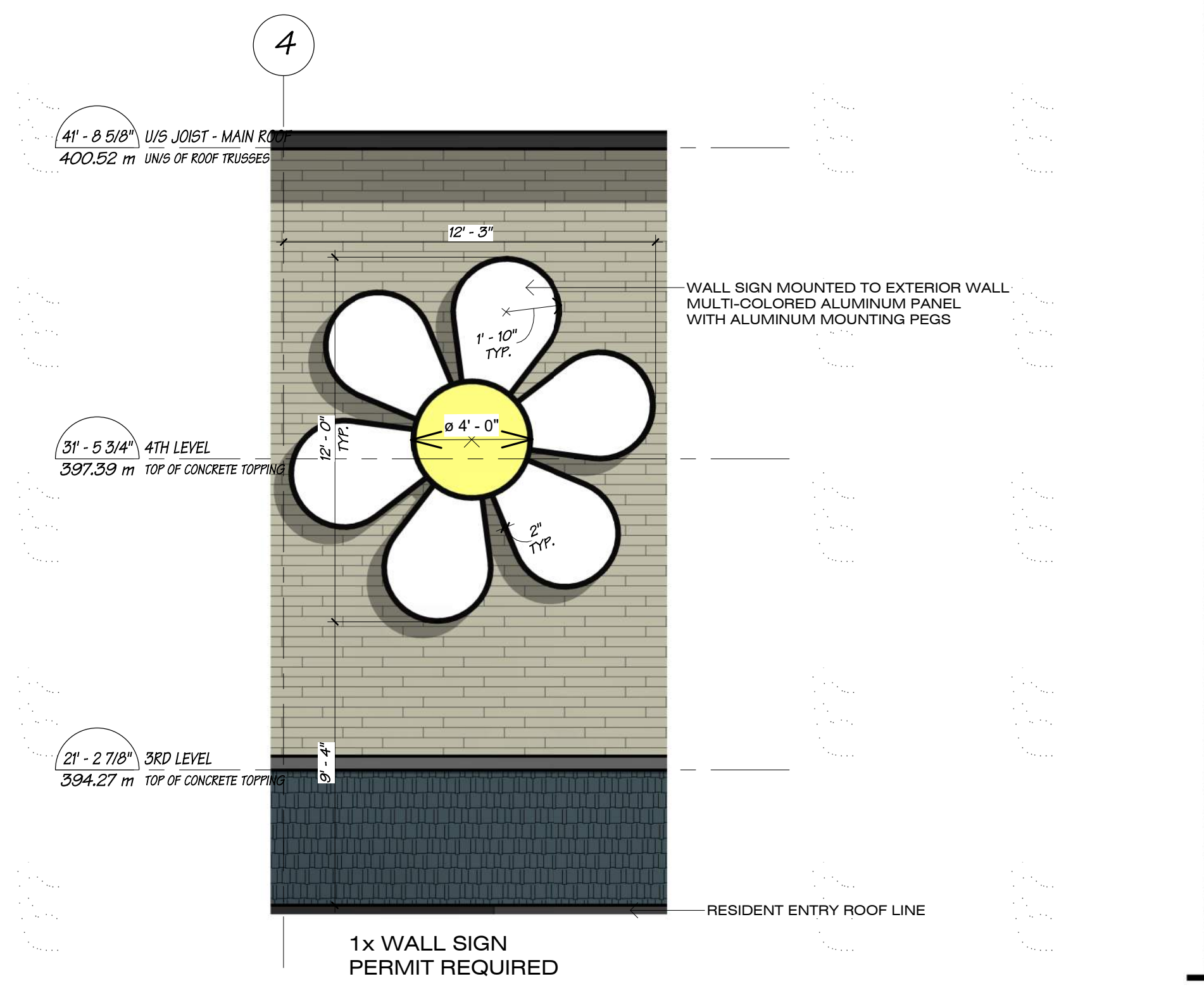


EXTERIOR FINISH SCHEDULE	
1	TRIM, FASCIA, WINDOW FRAMES, & RAILINGS PAINTED DARK GREY
2	WALL FIBRE-CEMENT SMOOTH LAPSIDING JAMES HARDIE COBBLESTONE
3	WALL FIBRE-CEMENT CEDARMILL LAPSIDING TRUEGRAIN TWO-TONE FISHER COATINGS SUMMER WHEAT
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7	ENTRY COLUMNS & TRELIS STAINED ROUGH-SAWN GLULAM FACTORY STAIN TO MATCH SIDING

NOTES

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2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION

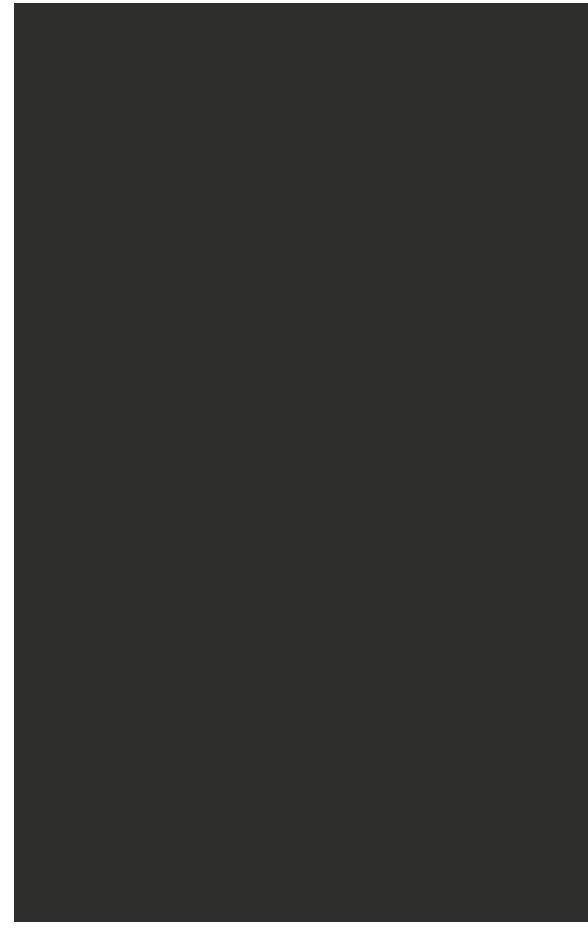
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DPS.1 1/8" = 1'-0"



2 KWS LOGO SIGN
DPS.1 1/4" = 1'-0"



3 EAST ELEVATION
DPS.1 1/8" = 1'-0"



1 TRIM, FASCIA, WINDOW FRAMES, RAILINGS | **DARK GREY**



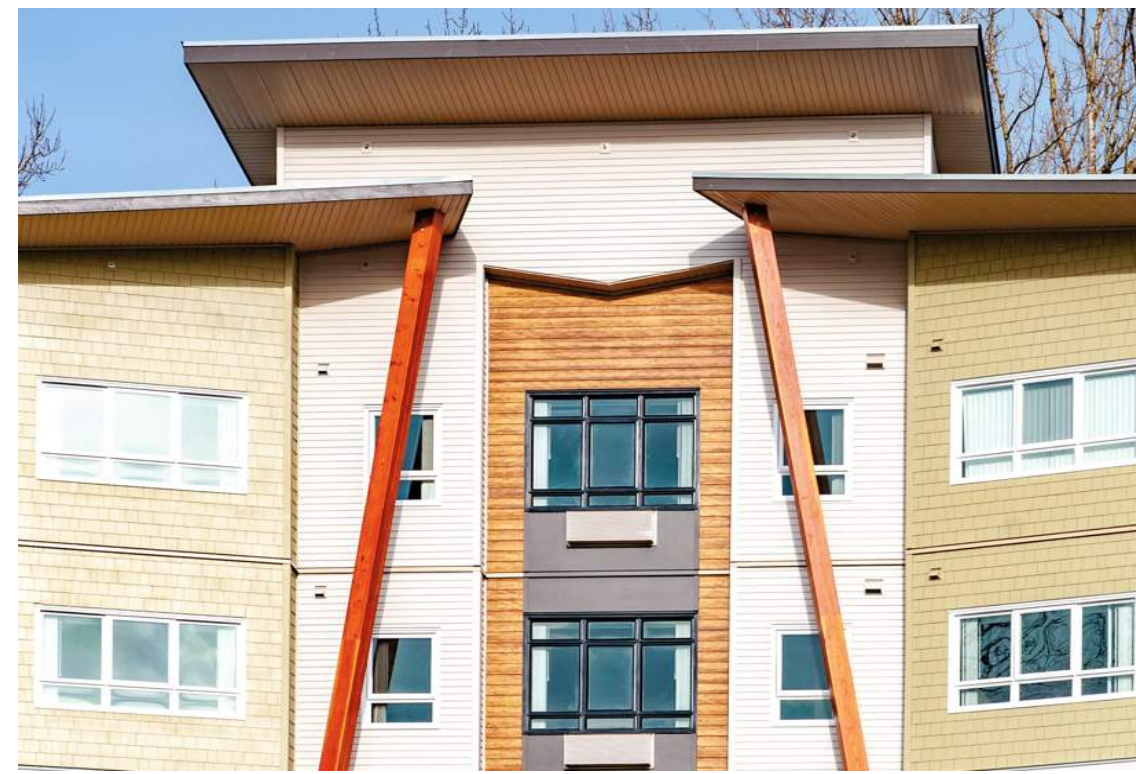
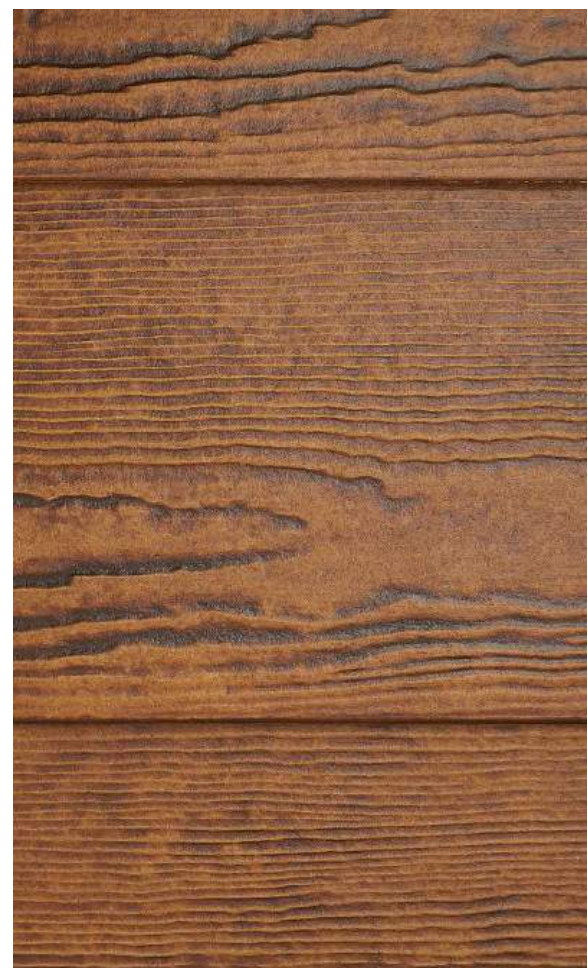
4 FIBRE CEMENT STRAIGHT EDGE SHINGLE | **EVENING BLUE** | JAMES HARDIE



2 FIBRE CEMENT SMOOTH LAPSIDING | **COBBLESTONE** | JAMES HARDIE



5 NATURAL STONE VENEER | **FALLS CREEK** | MUTUAL MATERIALS



3 FIBRE CEMENT CEDARMILL LAPSIDING
TRUEGRAIN SERIES: SUMMER WHEAT | FISHER COATINGS

EXTERIOR FINISHES

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1 SOUTH FACADE



2 NORTHWEST CORNER | OFFICE ENTRY & DRIVEWAY



3 NORTHWEST CORNER | OFFICE ENTRY



4 WEST FACADE



5 SOUTHWEST CORNER | RESIDENT ENTRY

EXTERIOR RENDERS - BUILDING FACADE

KWS HOUSING & PRHC OFFICES

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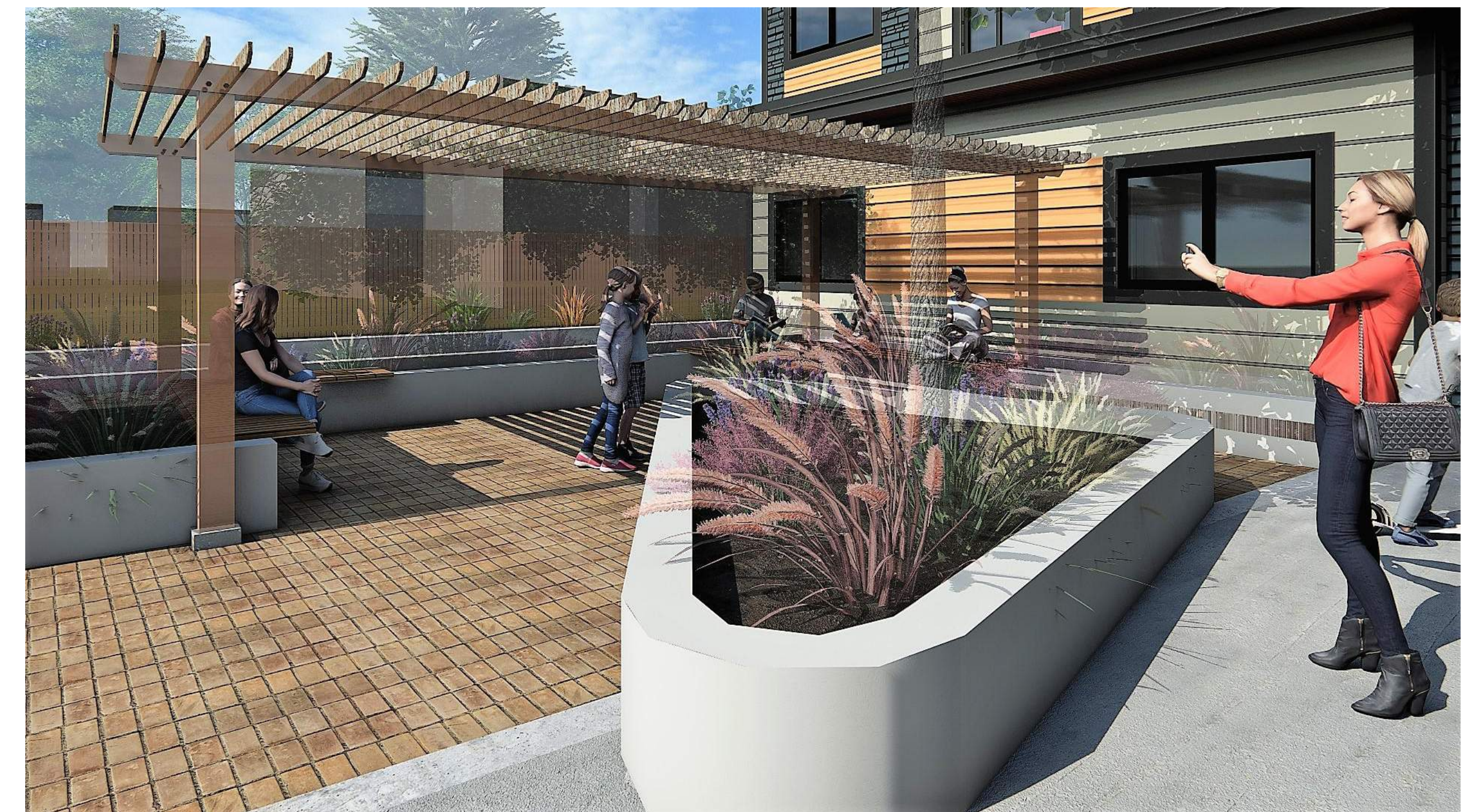
6 COURTYARD | LOOKING SOUTH



7 COURTYARD | LOOKING WEST



8 COURTYARD | DINING



9 ROOF PATIO | COVERED SEATING

EXTERIOR RENDERS - COURTYARD AMENITY

KWS HOUSING & PRHC OFFICES

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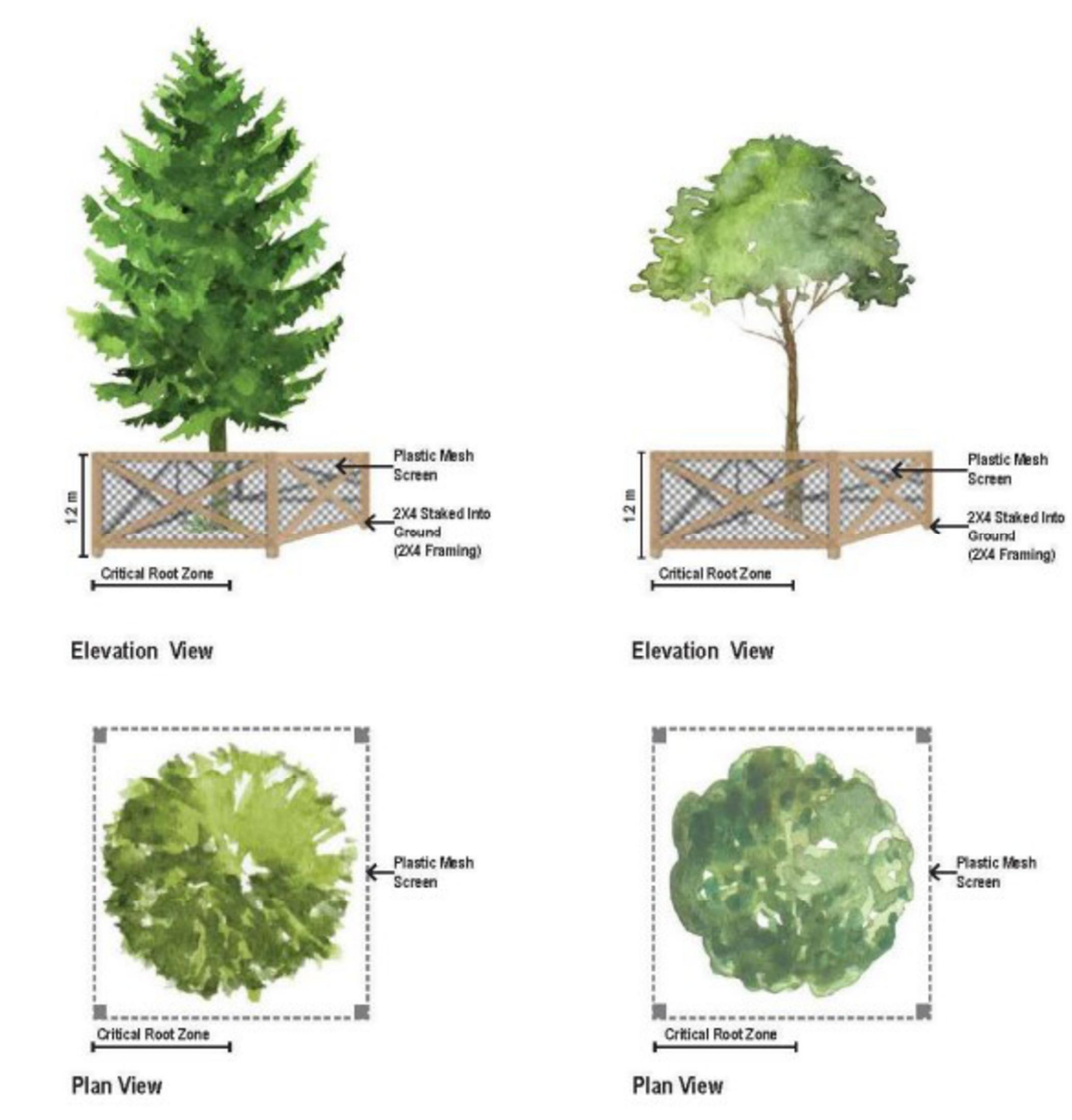
Abbotsford
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Consolidated Bylaw No. 8041 – Page 11.

- Visible signage must be posted advising that encroachment inside the protected area is forbidden. Signage to be posted on at least two sides (weather-proof, 11"x17" minimum size). Sign must read: **NO ENTRY**
- Tree Protection Zone**
If barrier has fallen over report immediately for repair
Phone: (xxx) xxx-xxxx

Figure 1 – Standard Tree Protection Zone Barrier Examples



PURPOSE
 Tree Protection Zones involve barriers placed around trees for the prevention of damage to tree trunks, branches, and roots by any construction activities/operations.

- REQUIREMENTS**
- Barriers are to be installed prior to any demolition, excavation, or construction on site.
 - Barriers must remain upright and in place throughout the entire construction process.
 - No incursions inside or against the Tree Protection Zone are to occur, including, but not limited to: garbage/debris storage, material or equipment storage, porta-potties, soil piling, fill or grade changes, surface treatments or excavations of any kind, equipment fueling or chemical mixing, etc.

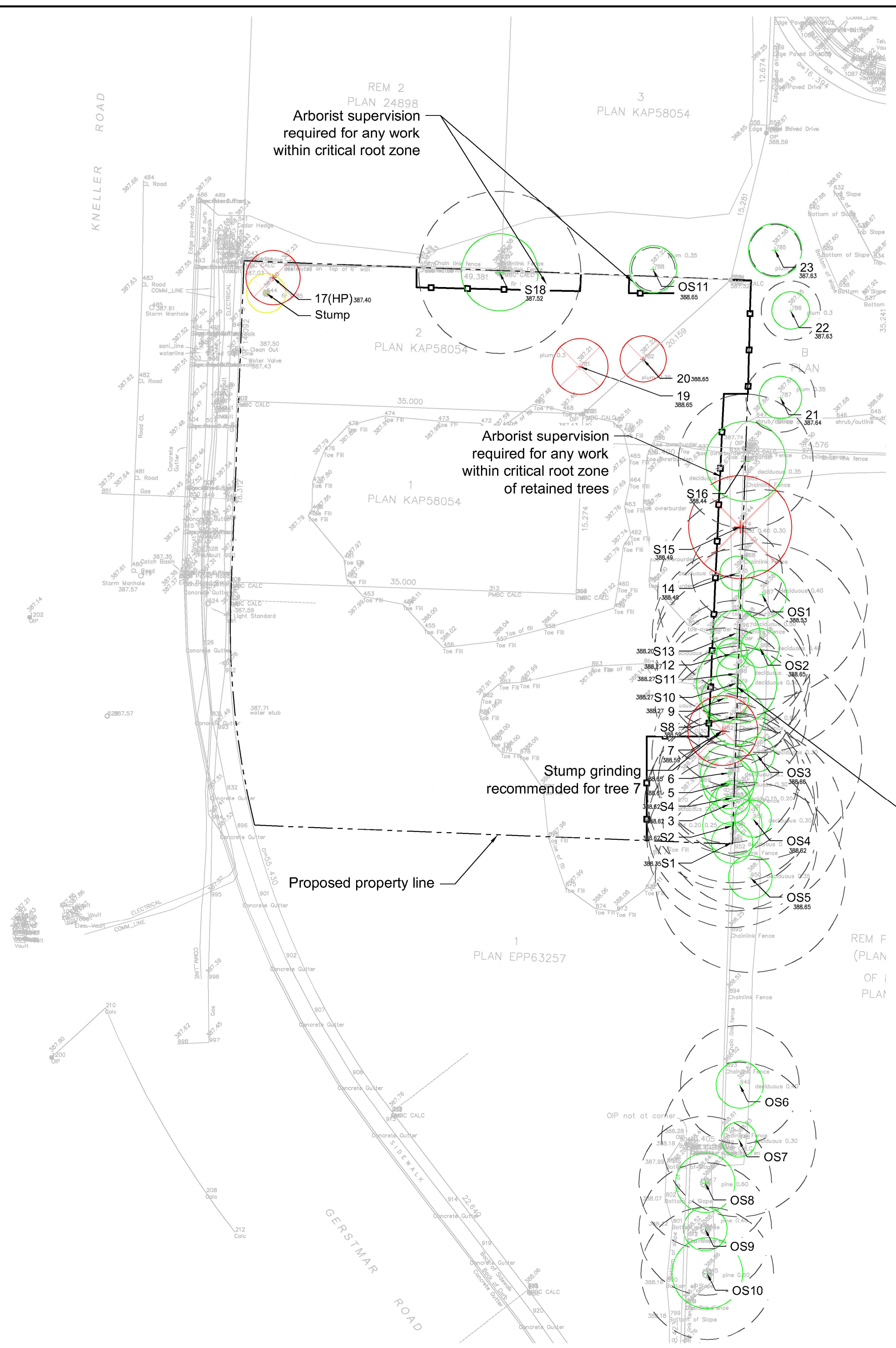
- SPECIFICATIONS FOR CONSTRUCTION**
- Barriers should be a maximum of 1.2 m (~4') in height.
 - At minimum, 2"x4" construction lumber to be used for vertical posts, top and bottom rails and cross bracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm.
 - Spacing between vertical posts to be no further apart than 3.7 m (12') on center.
 - Structure must be sturdy with vertical posts driven firmly into the ground.
 - Barrier must be continuous mesh screening (e.g. orange snow fencing).
 - The distance of the barrier from the tree trunk must be determined by a qualified person (arborist) based on the drip line and tree diameter, using table below:

Trunk Diameter (DBH measured in mm or inches)	Critical Root Zone (minimum distance of fence from trunk)
200 mm / 7.9"	1.2 m
250 mm / 9.8"	1.5 m
300 mm / 11.8"	1.8 m
350 mm / 13.8"	2.1 m
400 mm / 15.7"	2.4 m
450 mm / 17.7"	2.7 m
500 mm / 19.7"	3.0 m
550 mm / 21.7"	3.3 m
600 mm / 23.6"	3.6 m
750 mm / 29.5"	4.5 m
900 mm / 35.4"	5.4 m
1000 mm / 39.4"	6.0 m

Minimum Critical Root Zone Calculation: divide DBH (mm) by 166
 Example: 800 mm divided by 166 = 4.8 m minimum distance from trunk

- Note:**
- Contact VDZ+A Project Arborist (Glyn Romaine - glyn@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 - Read this plan together with the arborist report prepared by VDZ+A.
 - An additional 1m setback is shown for all hand-plotted trees to be retained.
 - If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 - It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - *Locating TPZ Fencing
 - *Locating Work Zone and Machine access corridors where required
 - *Reviewing the Report with the project foreman or site supervisor.

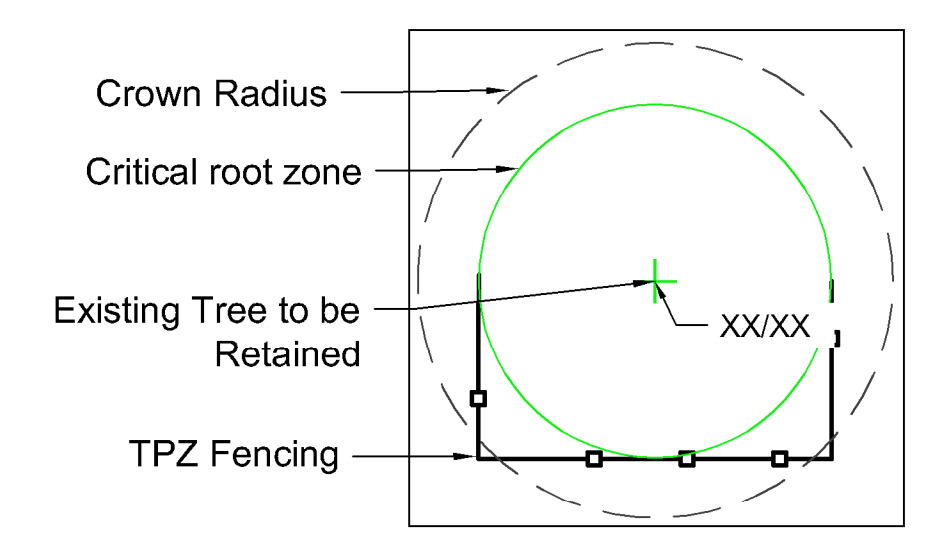
Trees tagged 1-18 are mature Siberian elm trees in fair condition. Siberian elm are considered an invasive species in Kelowna. See Arborist Report for discussion on retention.



LEGEND

Existing Tree to be Retained	Existing Tree to be Removed	Existing Tree in poor condition to be Removed	Existing Dead Tree to be Removed	Undersize tree or Stump	Tree Protection Fencing

Tree Tag Legend
 XX - Tag number
 C-XX - Municipal tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NT - No Tag #
 HP - Handplotted



1	YY	Issued for Arborist report	2023-07-10
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No.	By:	Description	Date
<p>REVISIONS TABLE FOR SHEET</p>			
<p>Project: Kneller Womens Supportive Centre</p>			
<p>Location: 175 Kneller Road, Kelowna, B.C.</p>			
Drawn:	Stamp:		
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1:300			



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LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4 LD-01	CONCRETE PAVING
	5 LD-01	CONCRETE UNIT PAVER
	5 LD-01	LAWN
	8 LD-01	SYNTHETIC TURF
		DRIP STRIP
	1 LD-02	SEAT WALL
	1,2 LD-01	PROPOSED TREE Refer to tree schedule
	3 LD-01	SHRUB PLANTING
	1 LD-03	BIKE RACKS
	3 LD-03	FEATURE BOULDER
	5 LD-03	PERIMETER FENCE 1.8M
	6 LD-03	DOG AREA FENCE 1.5M

LIGHTING

KEY	REF.	DESCRIPTION
	3 LD-04	RECESSED WALL LIGHT
	4 LD-04	BOLLARD LIGHT

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Acer saccharum / Sugar Maple	B&B, 5cm cal	2
	Cercidiphyllum japonicum / Katsura Tree	B&B, 5cm cal	4
	Cornus kousa / Kousa Dogwood	B&B, 3cm cal	3
	Picea pungens / Colorado Blue Spruce	B&B, 2.5m Ht	5
	Sophora japonica / Japanese Pagoda Tree	B&B, 5cm cal	1



No.	By:	Description	Date
2	SH	Issued for DP	July 11, 2023
1	SH	Issued for DP	Jun 13, 2023

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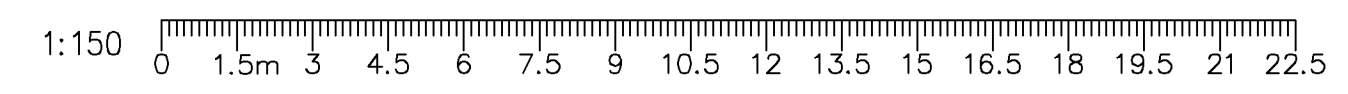
Project:
KWS HOUSING

Location:
Kelowna, BC

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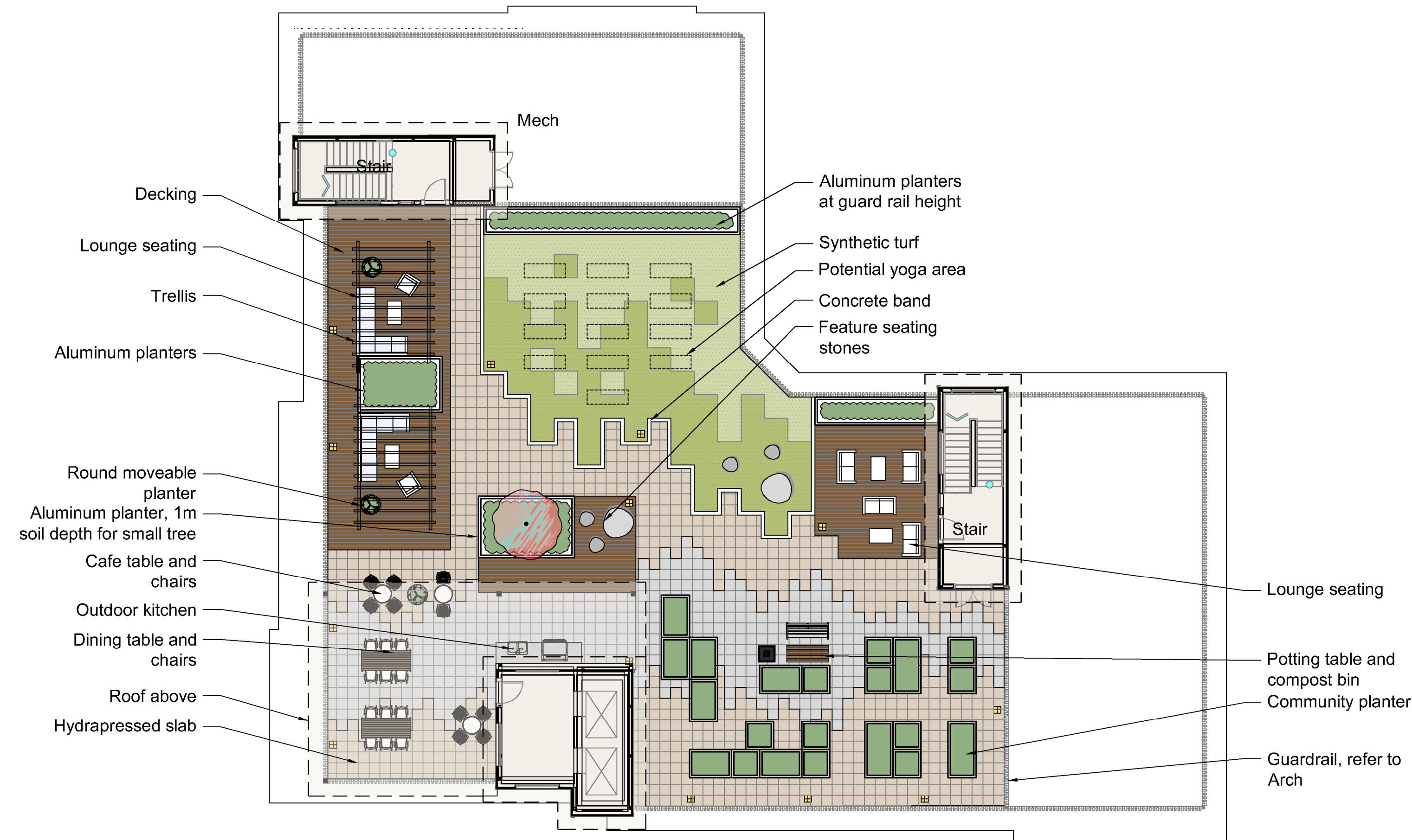


LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	6 LD-01	HYDRAPRESSED SLAB
	7 LD-01	DECKING
	8 LD-01	SYNTHETIC TURF
		GRAVEL
	4 LD-02	LOUNGE SEATING
	6 LD-02	CAFE TABLE AND CHAIRS
	2 LD-02	ALUMINUM PLANTERS
	3 LD-03	FEATURE BOULDER

LIGHTING

KEY	REF.	DESCRIPTION
	4 LD-04	BOLLARD LIGHT



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Magnolia x 'Susan' / Susan Magnolia	B&B, 3cm cal	1

No.	By:	Description	Date
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Location:
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Drawn:
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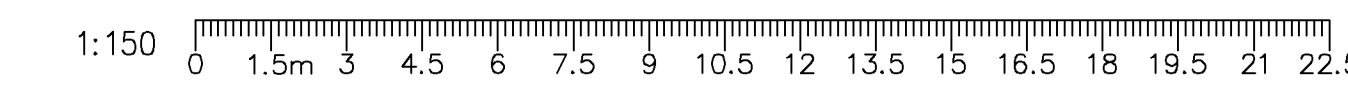
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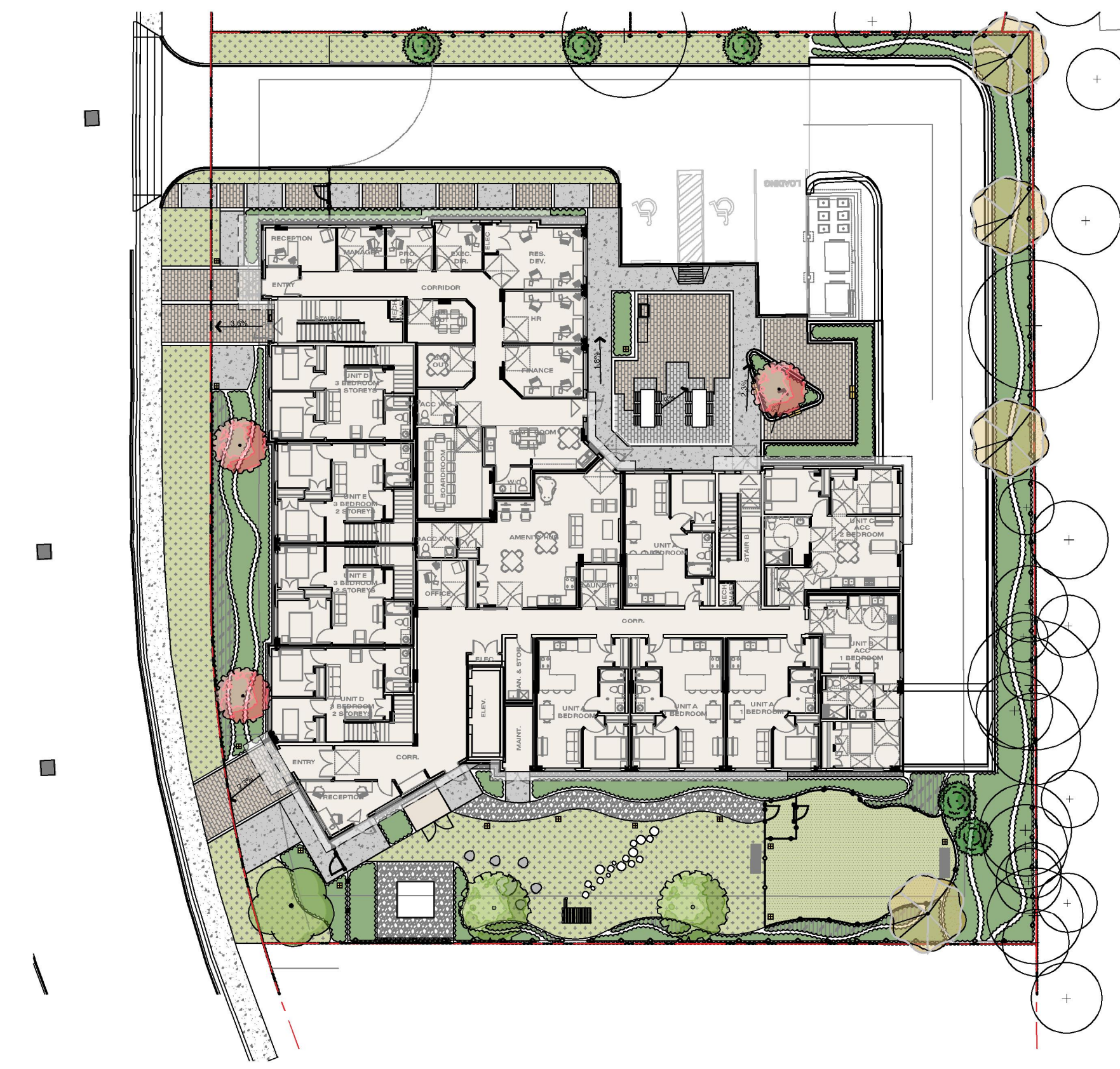
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LANDSCAPE ROOF PLAN



VDZ Project #:
DP2023-28

Drawing #:
L-02

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1 LANDSCAPE SITE PLAN
Scale 1:300

PLANTING SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME
Tb	Taxus baccata
Co	Corylopsis pauciflora
Ma	Mahonia aquifolium / Oregon Grape Holly
Po	Physocarpus opulifolius 'Tiny Wine' / "Tiny Wine" Ninebark
Ro	Rosmarinus lavandulaceus
Sj	Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea
Rh	Rhus typhina bailtiger
DWARF CONIFERS	BOTANICAL / COMMON NAME
Bm	Buxus microphylla japonica 'Winter Gem' / Winter Gem Japanese
Pm	Pinus mugo 'Pumilio' / Mugo Pine
Js	Juniperus sabina 'Monna' / Calgary Carpet Juniper
GRASSES	BOTANICAL / COMMON NAME
Cm	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge
Ic	Imperata cylindrica 'Rubra' / Japanese Blood Grass
Pe	Pennisetum orientale 'Karley Rose' / Karley Rose Fountain Gras
St	Stipa tenuissima

PERENNIALS	BOTANICAL / COMMON NAME
Nf	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint

TREE SCHEDULE
TREES

BOTANICAL / COMMON NAME
Acer saccharum / Sugar Maple
Caragana arborescens 'Lorbergii' / Lorberg Siberian Peashrub
Cercidiphyllum japonicum / Katsura Tree
Cornus kousa / Kousa Dogwood
Magnolia x 'Susan' / Susan Magnolia
Picea pungens / Colorado Blue Spruce
Sophora japonica / Japanese Pagoda Tree

COLOUR PALETTE
Chartreuse | Pinks | Yellows



Key Map (NTS)

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Location:
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Bird Friendly Tree Species Low Maintenance Seasonal color

PRECEDENT IMAGES



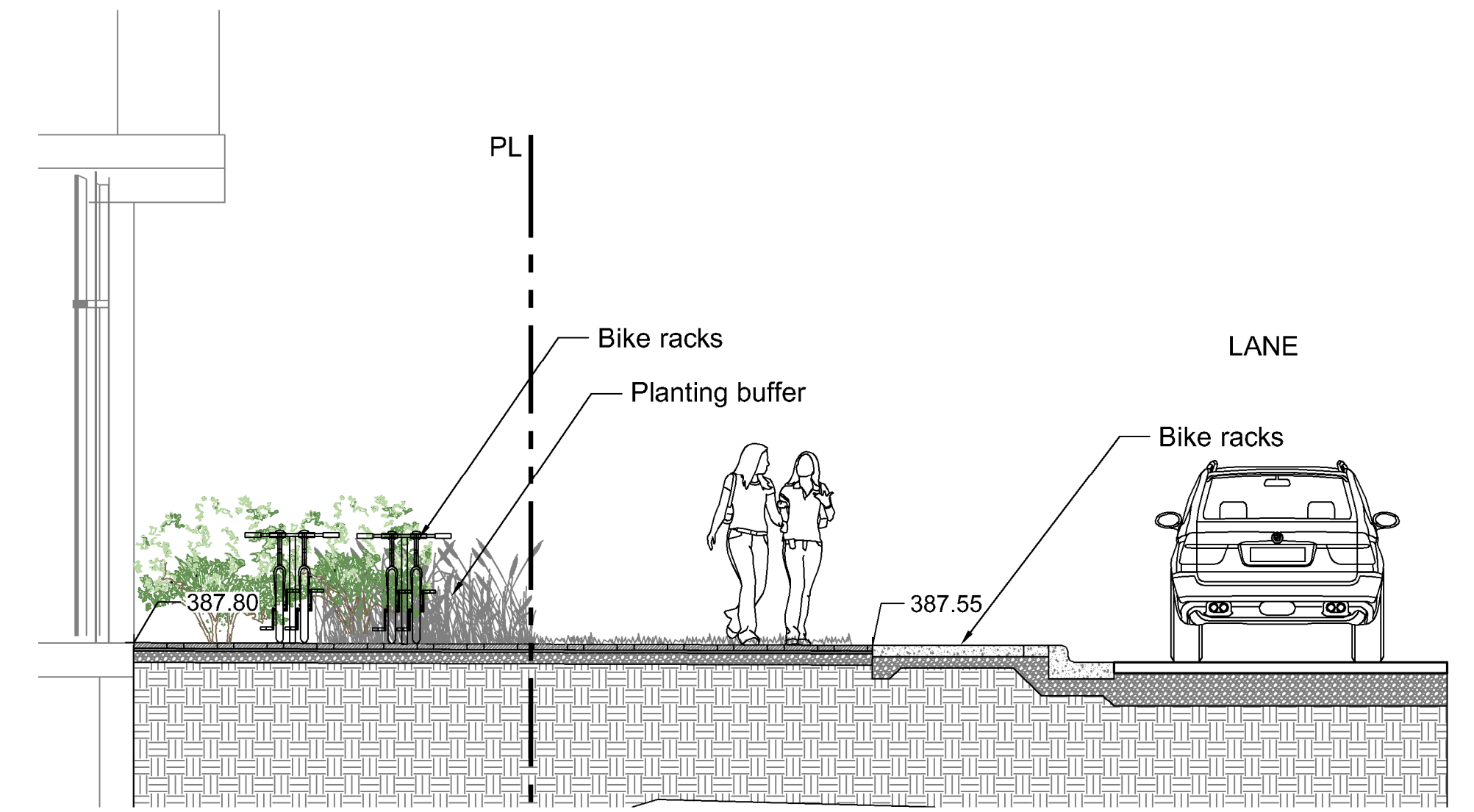
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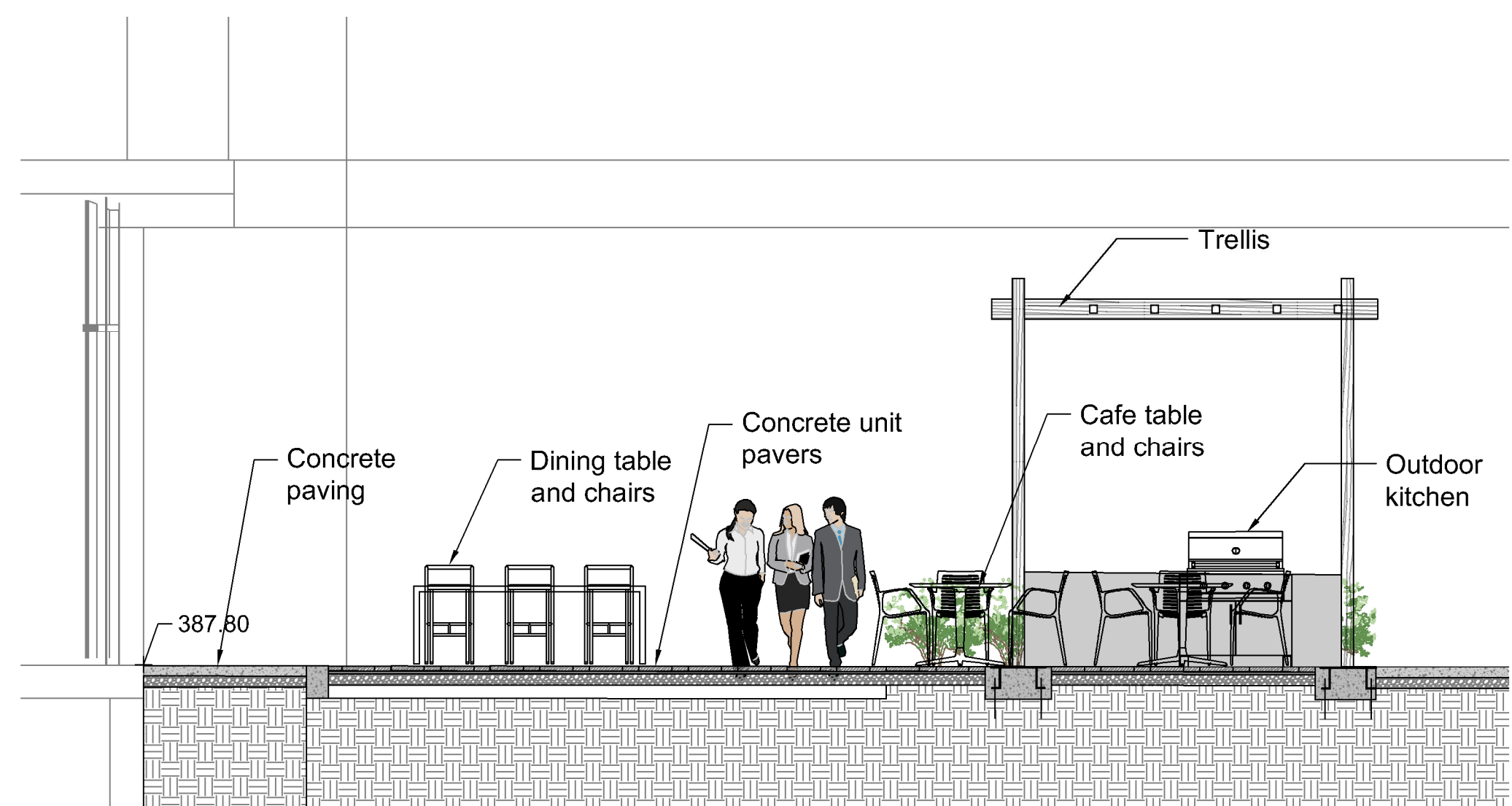
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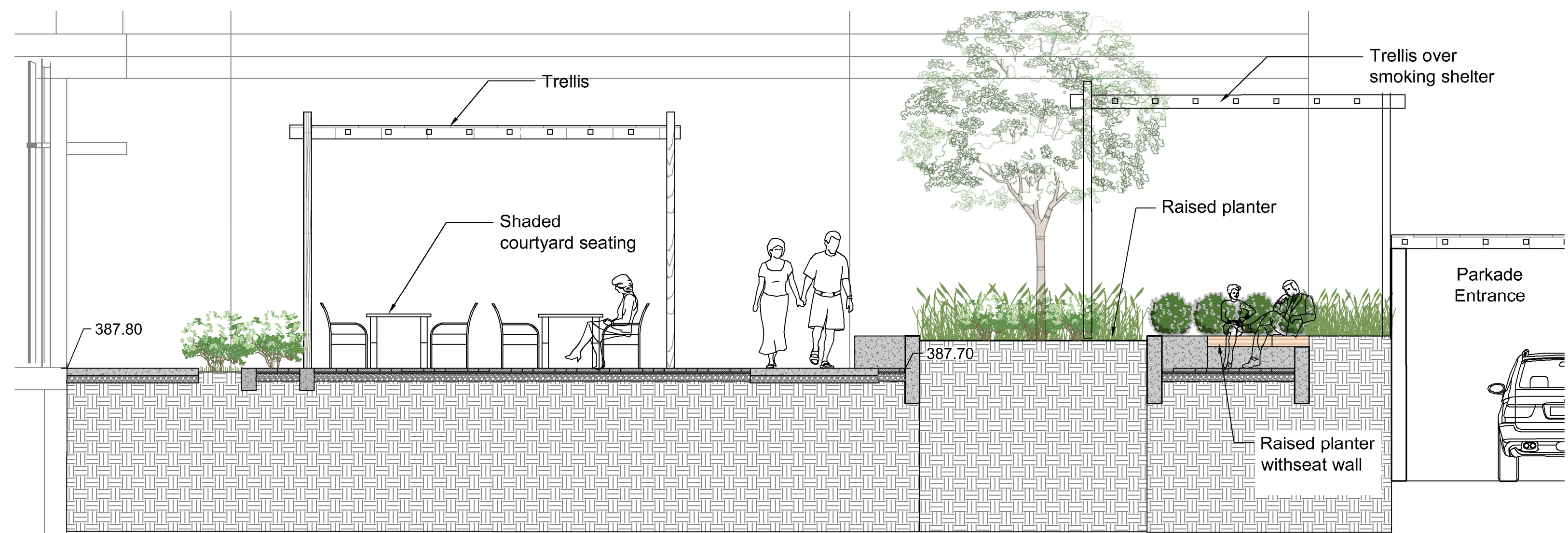
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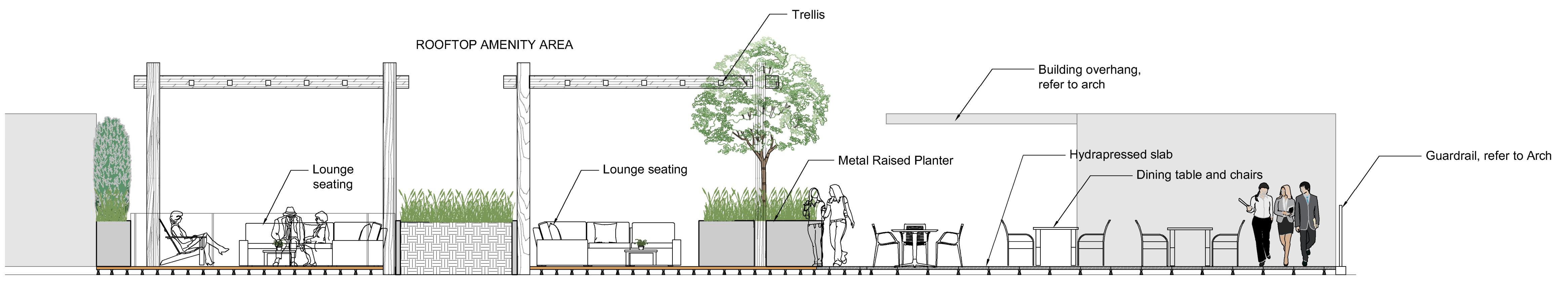
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 Scale 1:50



4 SECTION THROUGH GROUND LEVEL COURTYARD LANDSCAPE
 Scale 1:50



5 SECTION - THROUGH GROUND LEVEL COURTYARD - SMOKING ZONE
 Scale 1:50



6 SECTION AT ROOF TOP
 Scale 1:50

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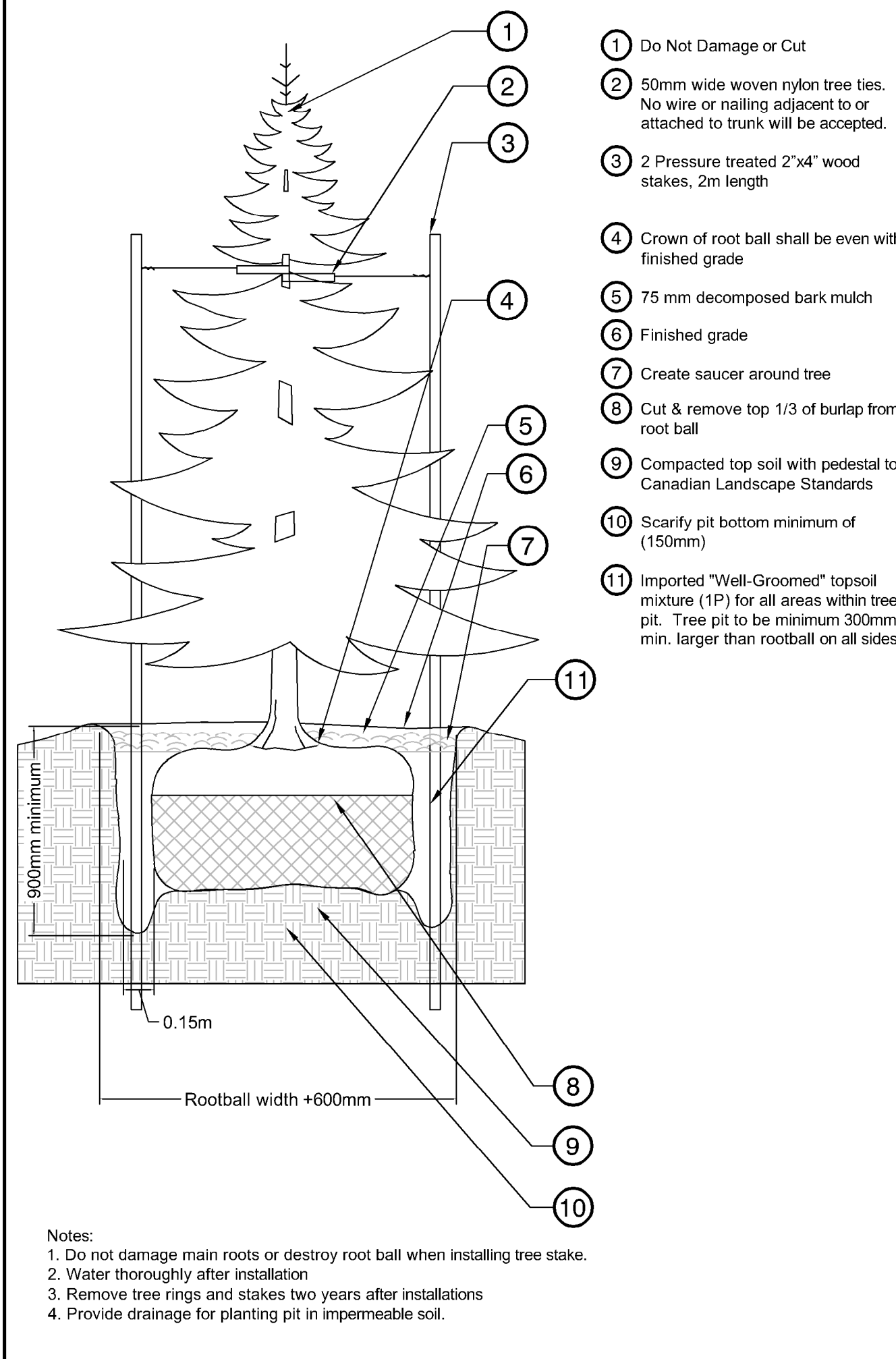
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project: KWS HOUSING
 Location: Kelowna, BC

Drawn: SZ	Stamp:
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Approved: SH	Original Sheet Size: 24"x36"
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Drawing Title: SECTIONS
 Drawing #: LS-01
 VZ Project #: DP2023-28
 NORTH

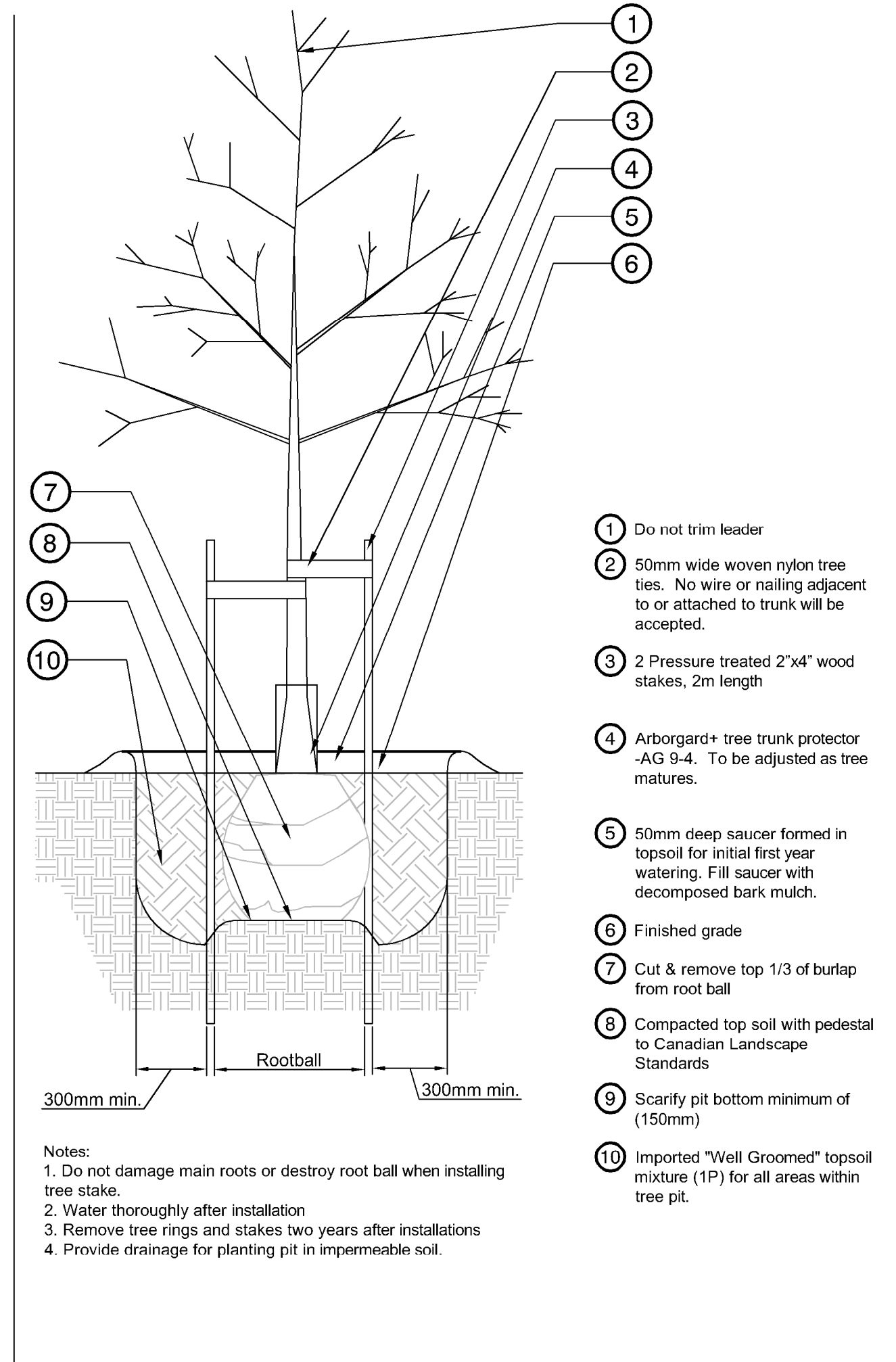
Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2023-28\KIELLER WOMEN'S SUPPORTIVE CENTRE\REV\DWGS\SECTIONS-01 - SECTIONS.DWG



- 1 Do Not Damage or Cut
- 2 50mm wide woven nylon tree ties. No wire or nailing adjacent to or attached to trunk will be accepted.
- 3 2 Pressure treated 2"x4" wood stakes, 2m length
- 4 Crown of root ball shall be even with finished grade
- 5 75 mm decomposed bark mulch
- 6 Finished grade
- 7 Create saucer around tree
- 8 Cut & remove top 1/3 of burlap from root ball
- 9 Compacted top soil with pedestal to Canadian Landscape Standards
- 10 Scarify pit bottom minimum of (150mm)
- 11 Imported "Well-Groomed" topsoil mixture (1P) for all areas within tree pit. Tree pit to be minimum 300mm min. larger than rootball on all sides.

Notes:
 1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation.
 3. Remove tree rings and stakes two years after installations.
 4. Provide drainage for planting pit in impermeable soil.

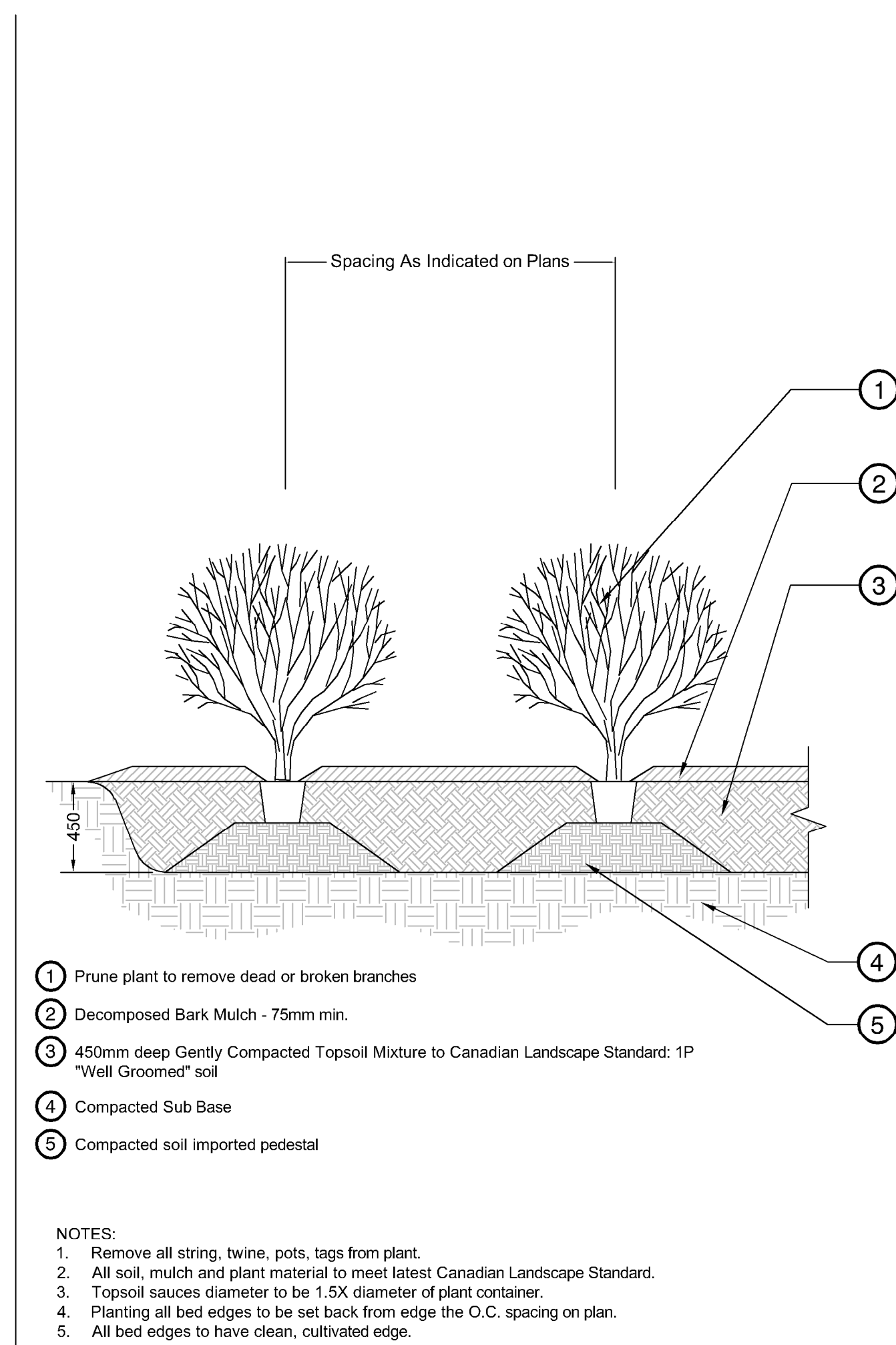
1 TREE PLANTING - CONIFEROUS TREE
 1:25



- 1 Do not trim leader
- 2 50mm wide woven nylon tree ties. No wire or nailing adjacent to or attached to trunk will be accepted.
- 3 2 Pressure treated 2"x4" wood stakes, 2m length
- 4 Arbogard+ tree trunk protector -AG 9-4. To be adjusted as tree matures.
- 5 50mm deep saucer formed in topsoil for initial first year watering. Fill saucer with decomposed bark mulch.
- 6 Finished grade
- 7 Cut & remove top 1/3 of burlap from root ball
- 8 Compacted top soil with pedestal to Canadian Landscape Standards
- 9 Scarify pit bottom minimum of (150mm)
- 10 Imported "Well Groomed" topsoil mixture (1P) for all areas within tree pit.

Notes:
 1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation.
 3. Remove tree rings and stakes two years after installations.
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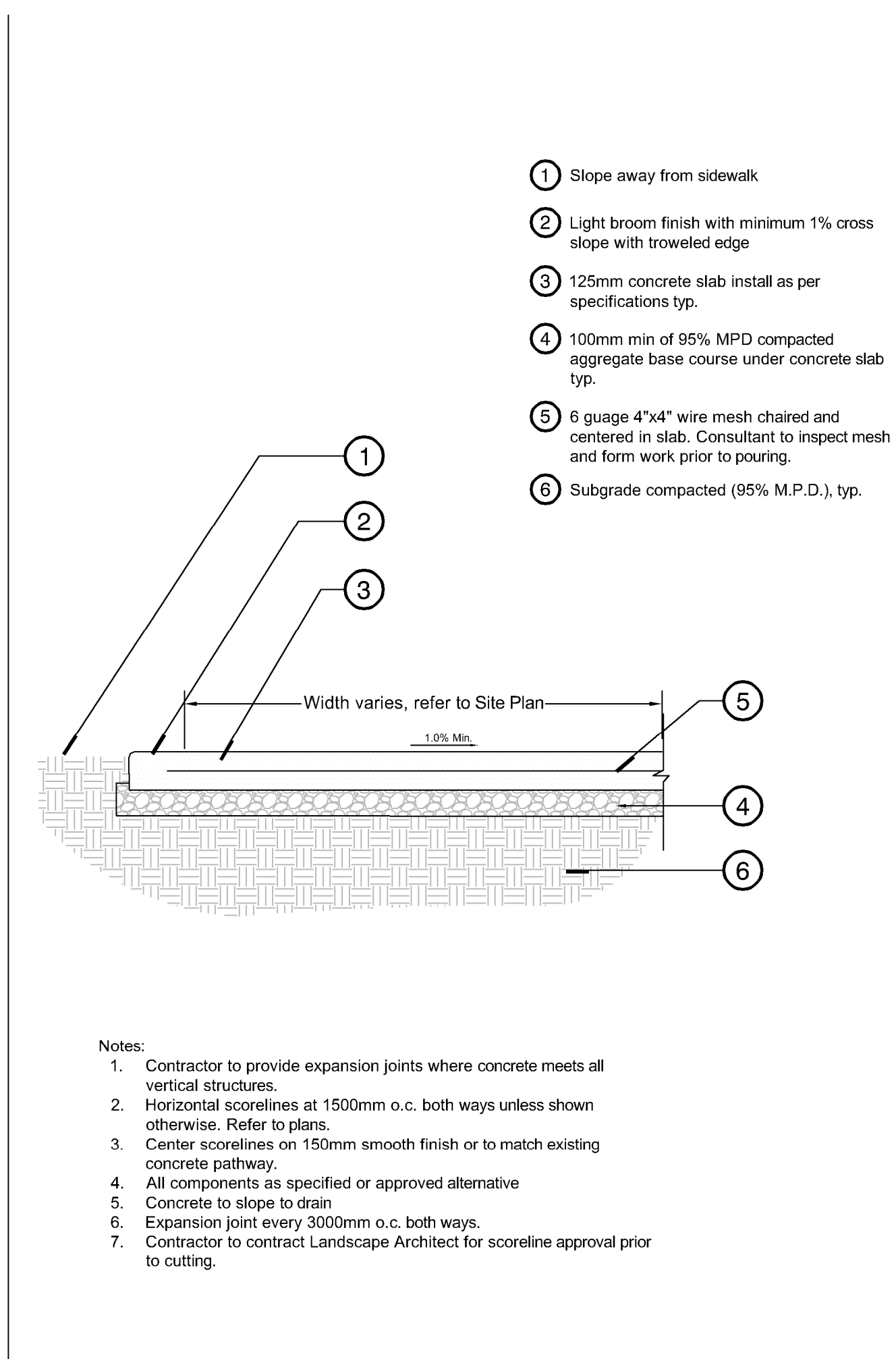
2 TREE PLANTING - DECIDUOUS TREE
 1:25



- 1 Prune plant to remove dead or broken branches
- 2 Decomposed Bark Mulch - 75mm min.
- 3 450mm deep Gently Compacted Topsoil Mixture to Canadian Landscape Standard: 1P "Well Groomed" soil
- 4 Compacted Sub Base
- 5 Compacted soil imported pedestal

NOTES:
 1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucer diameter to be 1.5X diameter of plant container.
 4. Planting all bed edges to be set back from edge the O.C. spacing on plan.
 5. All bed edges to have clean, cultivated edge.

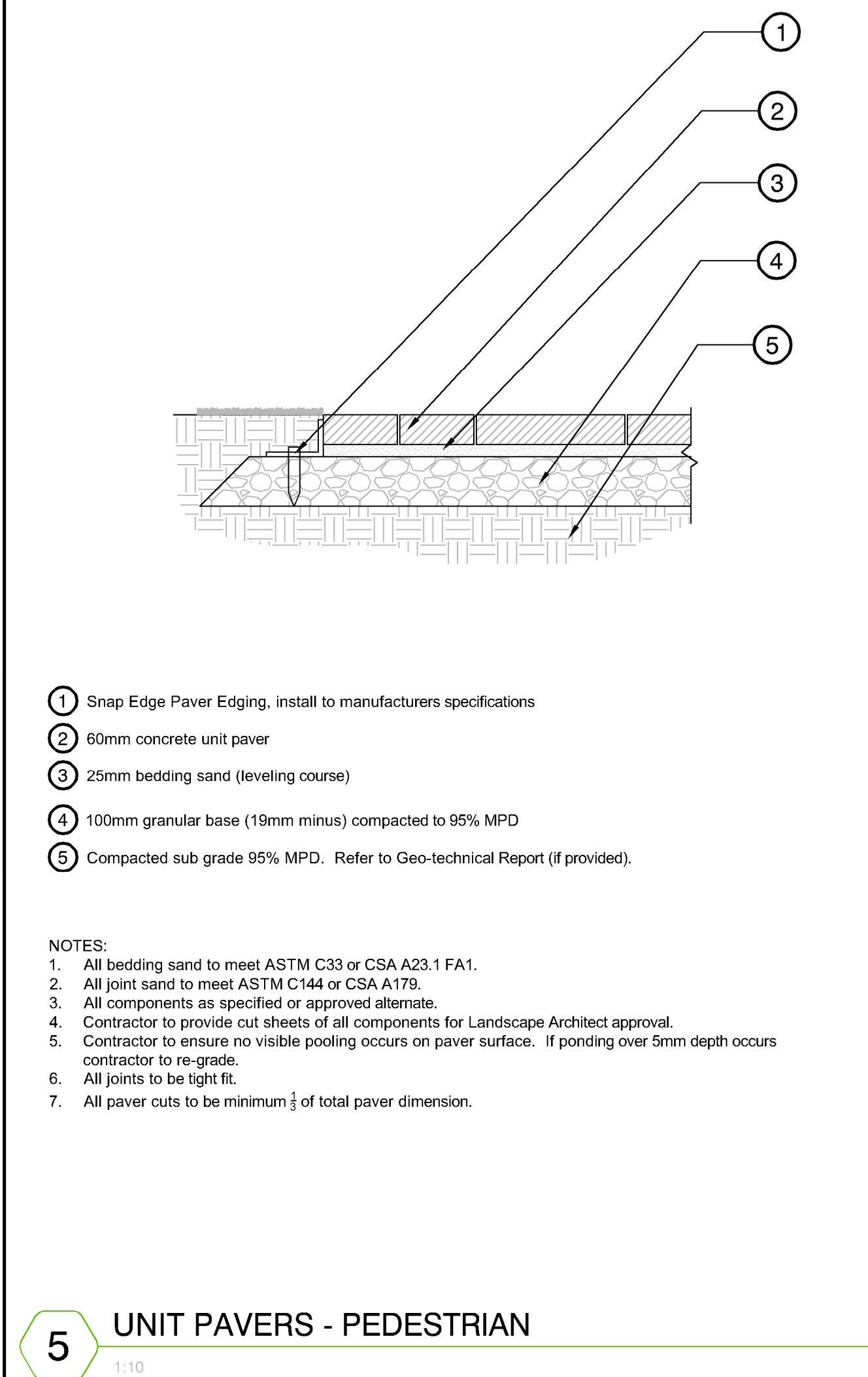
3 SHRUB PLANTING
 1:25



- 1 Slope away from sidewalk
- 2 Light broom finish with minimum 1% cross slope with troweled edge
- 3 125mm concrete slab install as per specifications typ.
- 4 100mm min of 95% MPD compacted aggregate base course under concrete slab typ.
- 5 6 gauge 4"x4" wire mesh chaired and centered in slab. Consultant to inspect mesh and form work prior to pouring.
- 6 Subgrade compacted (95% M.P.D.), typ.

Notes:
 1. Contractor to provide expansion joints where concrete meets all vertical structures.
 2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
 3. Center scorelines on 150mm smooth finish or to match existing concrete pathway.
 4. All components as specified or approved alternative
 5. Concrete to slope to drain
 6. Expansion joint every 3000mm o.c. both ways.
 7. Contractor to contract Landscape Architect for scoreline approval prior to cutting.

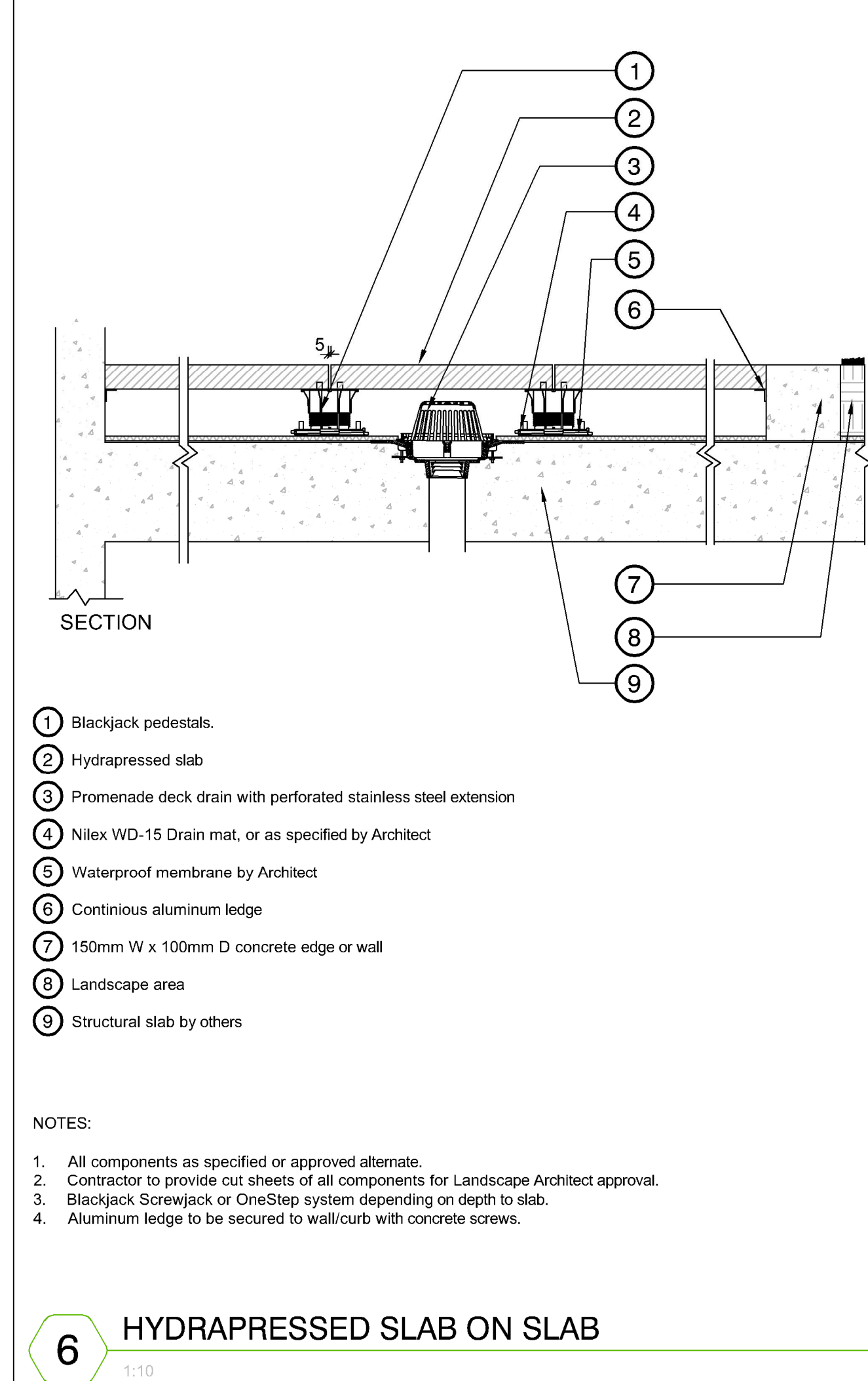
4 CONCRETE SLAB
 1:20



- 1 Snap Edge Paver Edging, install to manufacturers specifications
- 2 60mm concrete unit paver
- 3 25mm bedding sand (leveling course)
- 4 100mm granular base (19mm minus) compacted to 95% MPD
- 5 Compacted sub grade 95% MPD. Refer to Geo-technical Report (if provided).

NOTES:
 1. All bedding sand to meet ASTM C33 or CSA A23.1 FA1.
 2. All joint sand to meet ASTM C144 or CSA A179.
 3. All components as specified or approved alternate.
 4. Contractor to provide cut sheets of all components for Landscape Architect approval.
 5. Contractor to ensure no visible pooling occurs on paver surface. If ponding over 5mm depth occurs contractor to re-grade.
 6. All joints to be tight fit.
 7. All paver cuts to be minimum 1/2 of total paver dimension.

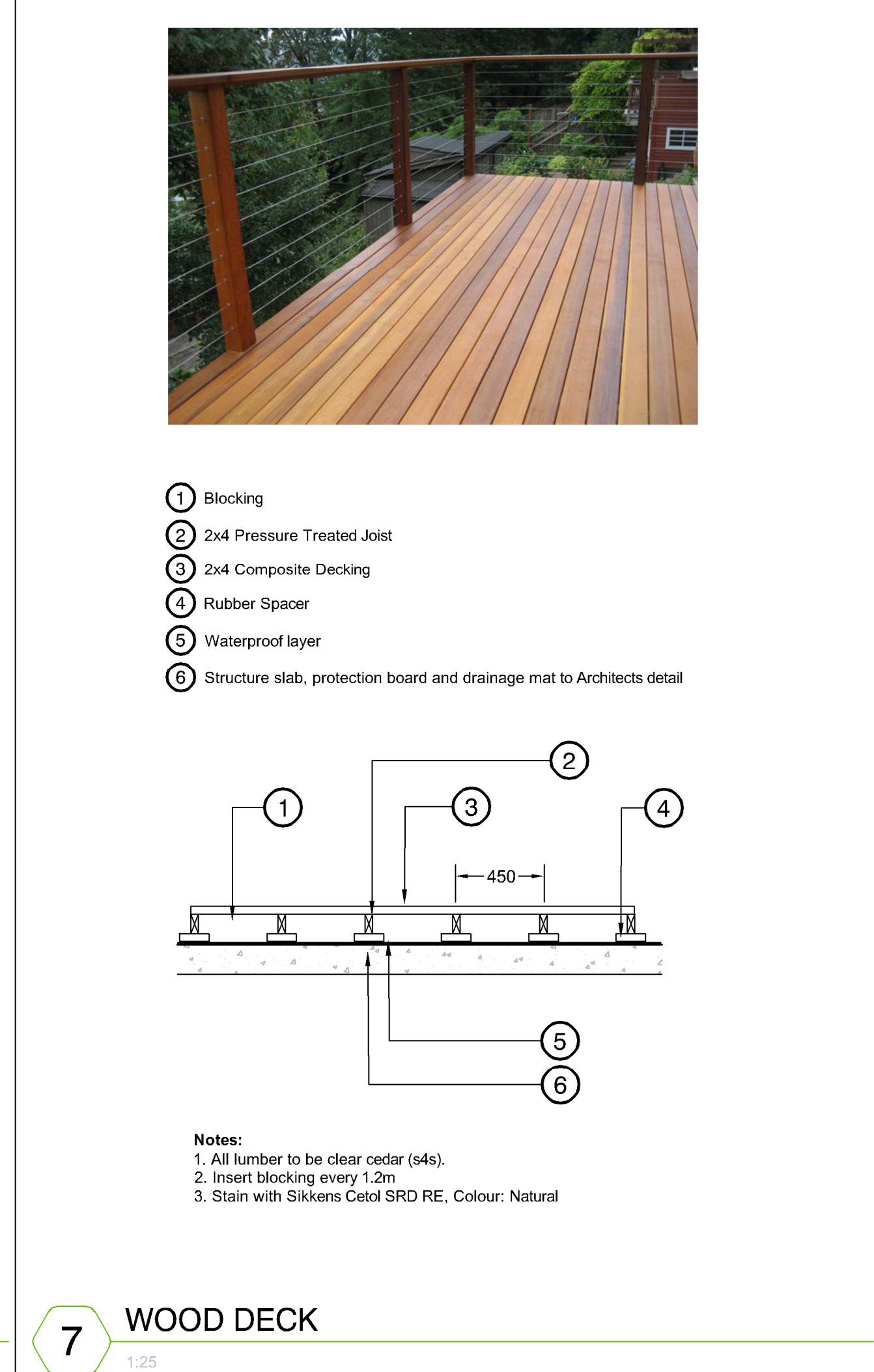
5 UNIT PAVERS - PEDESTRIAN
 1:10



- 1 Blackjack pedestals.
- 2 Hydrapressed slab
- 3 Promenade deck drain with perforated stainless steel extension
- 4 Nilex WD-15 Drain mat, or as specified by Architect
- 5 Waterproof membrane by Architect
- 6 Continuous aluminum ledge
- 7 150mm W x 100mm D concrete edge or wall
- 8 Landscape area
- 9 Structural slab by others

NOTES:
 1. All components as specified or approved alternate.
 2. Contractor to provide cut sheets of all components for Landscape Architect approval.
 3. Blackjack Screwjack or OneStep system depending on depth to slab.
 4. Aluminum ledge to be secured to wall/curb with concrete screws.

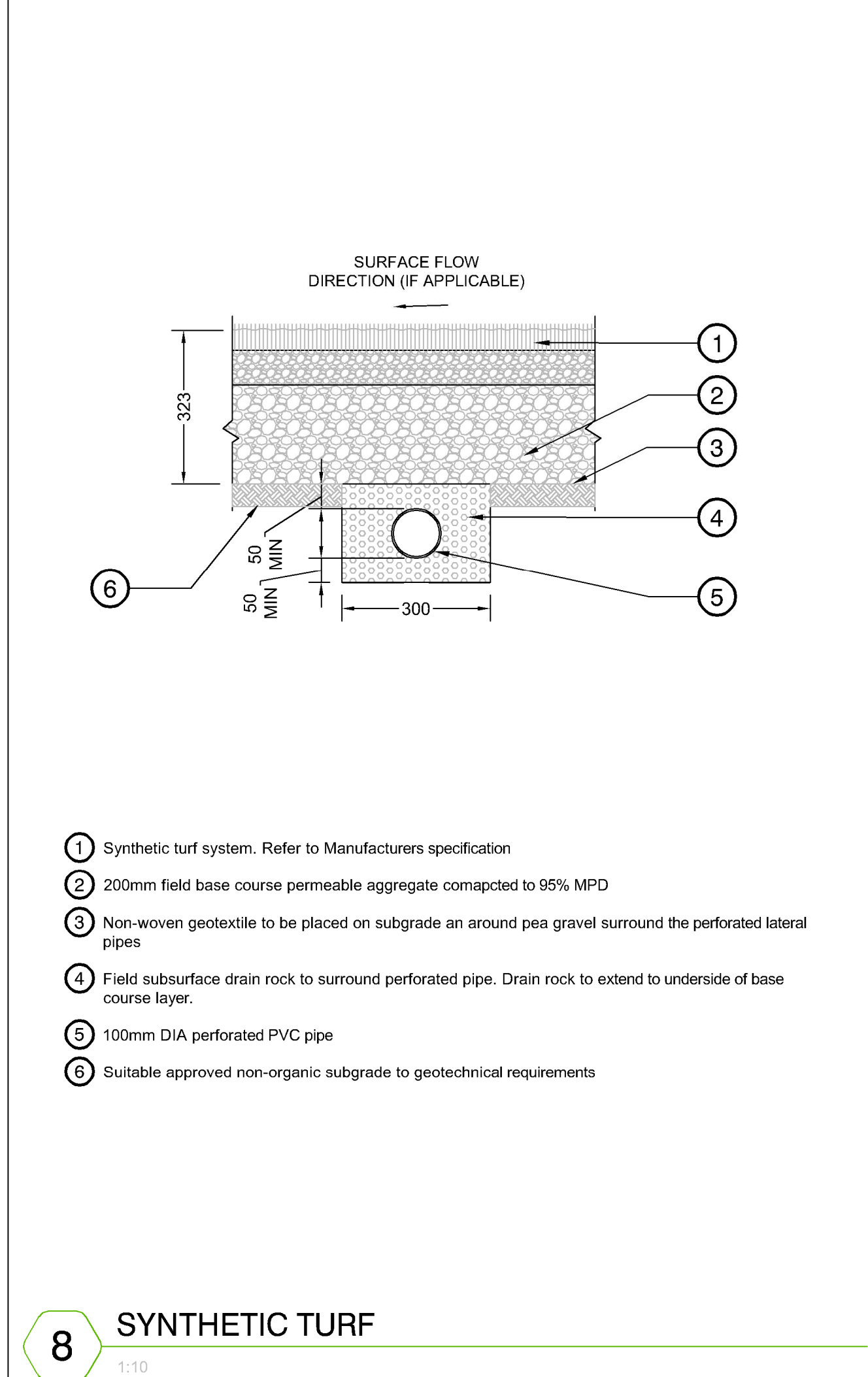
6 HYDRAPRESSED SLAB ON SLAB
 1:10



- 1 Blocking
- 2 2x4 Pressure Treated Joist
- 3 2x4 Composite Decking
- 4 Rubber Spacer
- 5 Waterproof layer
- 6 Structure slab, protection board and drainage mat to Architects detail

Notes:
 1. All lumber to be clear cedar (s4s).
 2. Insert blocking every 1.2m
 3. Stain with Sikksens Cetol SRD RE. Colour: Natural

7 WOOD DECK
 1:25



- 1 Synthetic turf system. Refer to Manufacturers specification
- 2 200mm field base course permeable aggregate compacted to 95% MPD
- 3 Non-woven geotextile to be placed on subgrade an around pea gravel surround the perforated lateral pipes
- 4 Field subsurface drain rock to surround perforated pipe. Drain rock to extend to underside of base course layer.
- 5 100mm DIA perforated PVC pipe
- 6 Suitable approved non-organic subgrade to geotechnical requirements

8 SYNTHETIC TURF
 1:10

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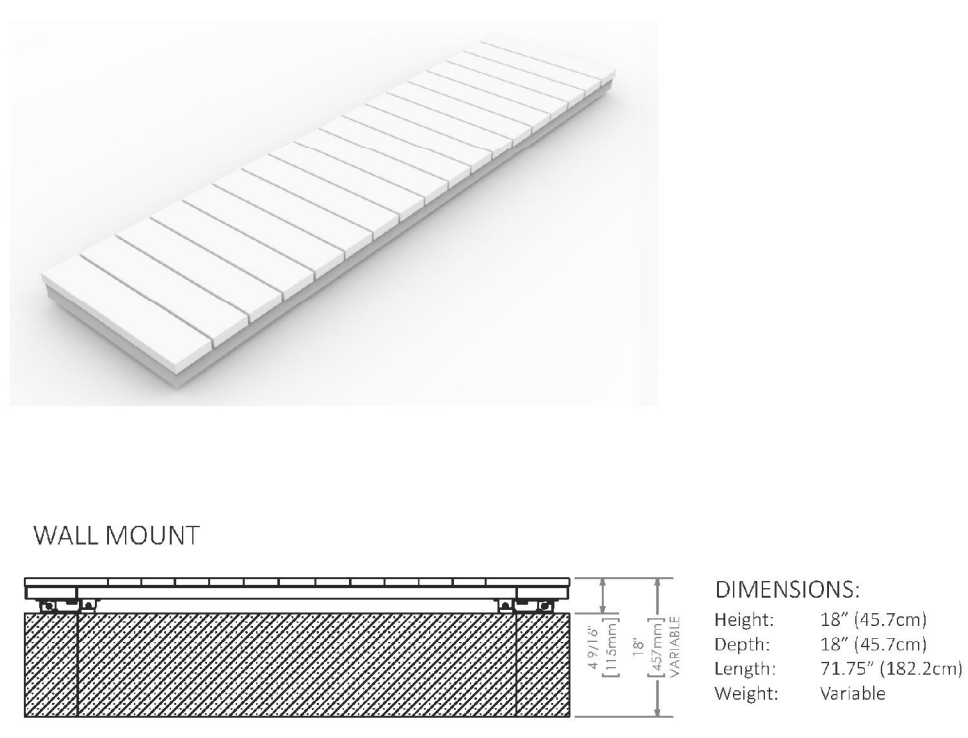
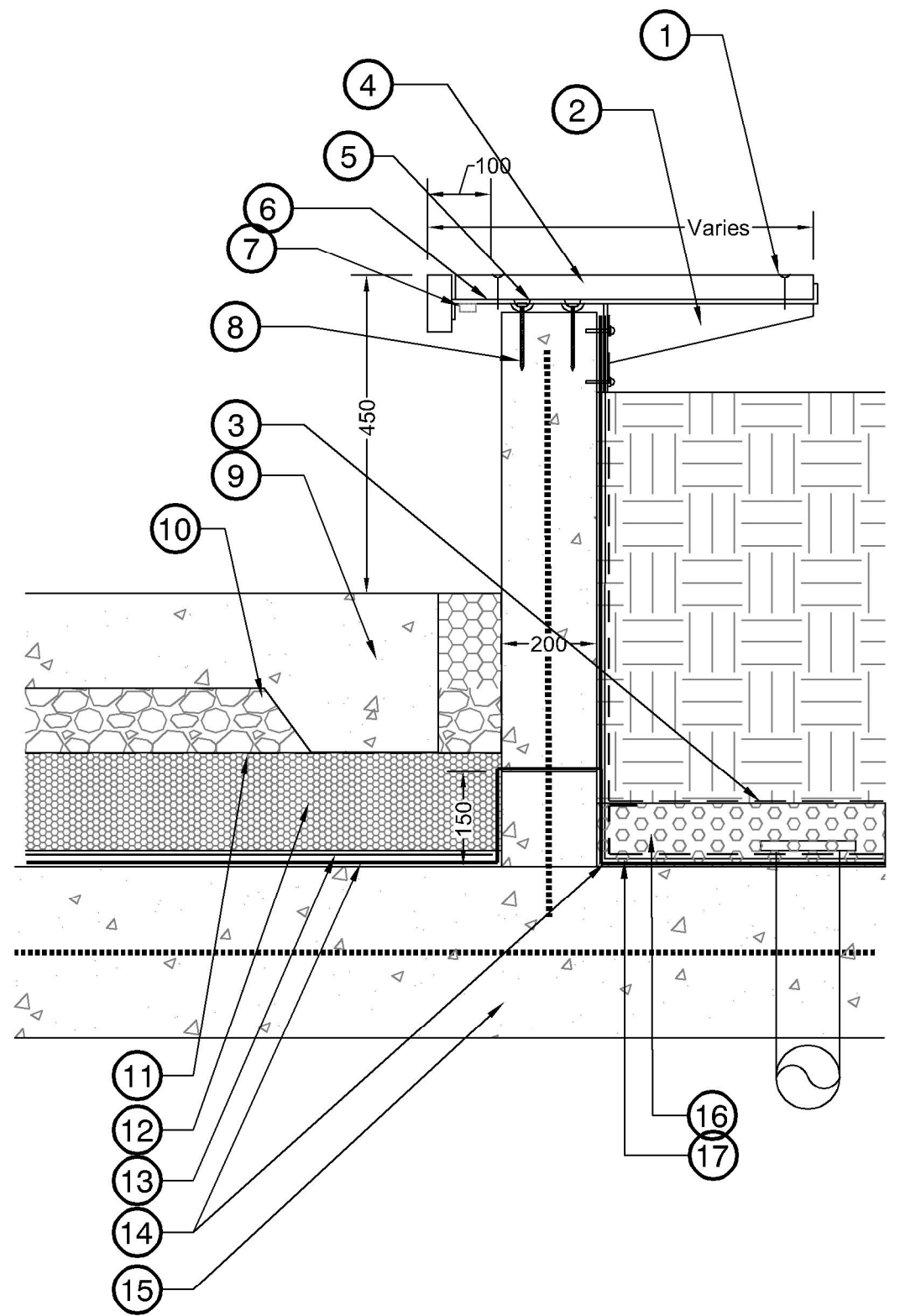
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- ① 6mm Ø (1/4") countersunk screw securing 2x4"s to plate
- ② Galvanized Bracket
- ③ Non-woven landscape fabric. Install as per manufacturer's specifications.
- ④ Maglin Ogden Range 6 Straight bench top, thermally modified ash
- ⑤ 40mmØ inverted metal dome
- ⑥ Galvanized Plate
- ⑦ Strip light, typ. Refer to Electrical.
- ⑧ 13mm Ø (1/2") galvanized ready rod into concrete. 4 per bench.
- ⑨ Concrete, 150mm thick, refer to detail
- ⑩ 150mm base course permeable aggregate compacted to 95% MPD
- ⑪ Non-woven landscape fabric. Install as per manufacturer's specifications
- ⑫ Permavoid, by others.
- ⑬ Root barrier by architecture
- ⑭ Waterproof membrane, protection and drainage layer, by architecture
- ⑮ Structural slab by architecture
- ⑯ 19mm clear crush
- ⑰ Root barrier by architecture

Notes:
 1. Contractor to provide shop drawings for landscape architect approval.
 Refer to Architects roof assemblies
 2. All benches to have anti-skate clips - to be approved by landscape architect prior to installation
 3. All exposed decking and fascia to be sanded smooth.

1 WOOD BENCH ON CONCRETE WALL
 1:10 P-DP202328-88

2 ALUMINIUM METAL PLANTER
 1:1



3 MOVEABLE ROUND PLANTER
 1:1



M77032 CORNER CHAIR 35"W 35"D 31"H 17.5"H WEIGHT: 40
 M77004 LOUNGE CHAIR 34.5"W 34.75"D 31"H 17.5"H WEIGHT: 44
 M77022 ARMLESS TWO SEAT 53"W 35"D 31"H 17.5"H WEIGHT: 56

4 LOUNGE SEATING
 1:1



5 DINING TABLE AND CHAIRS
 1:1



6 CAFE TABLE AND CHAIR
 1:1



7 BENCH
 1:10

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Bike Rack

1 BIKE RACK

1:1



Outdoor Shed

2 OUTDOOR SHED

1:1



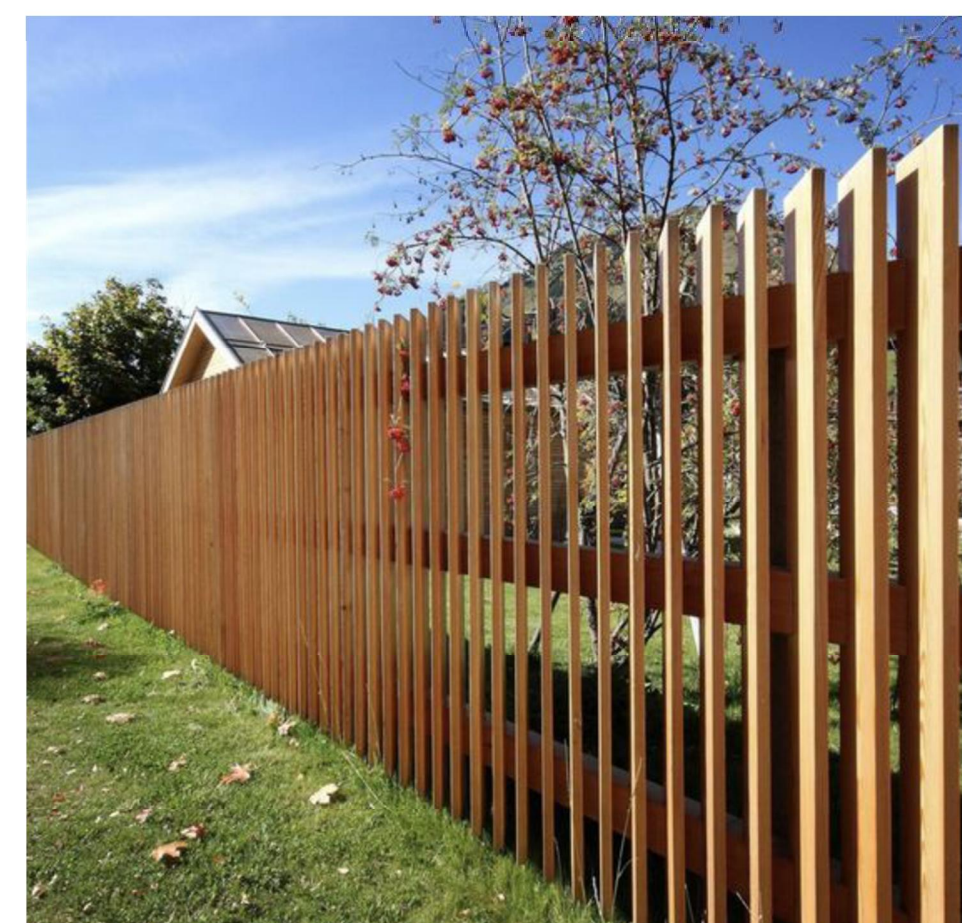
3 FEATURE SEATING BOULDER

1:1



4 TRELLIS

1:1



Perimeter Fence

5 PERIMETER FENCE

1:10



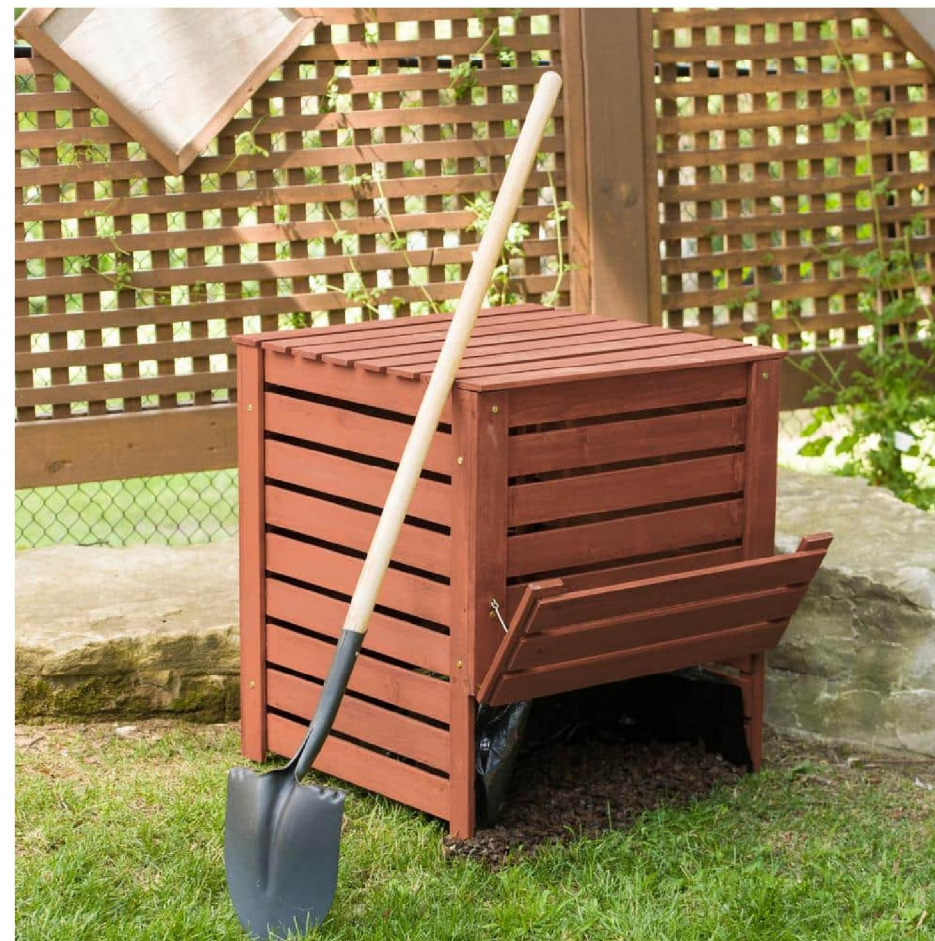
Dog run area fence

6 DOG RUN AREA FENCE

1:1



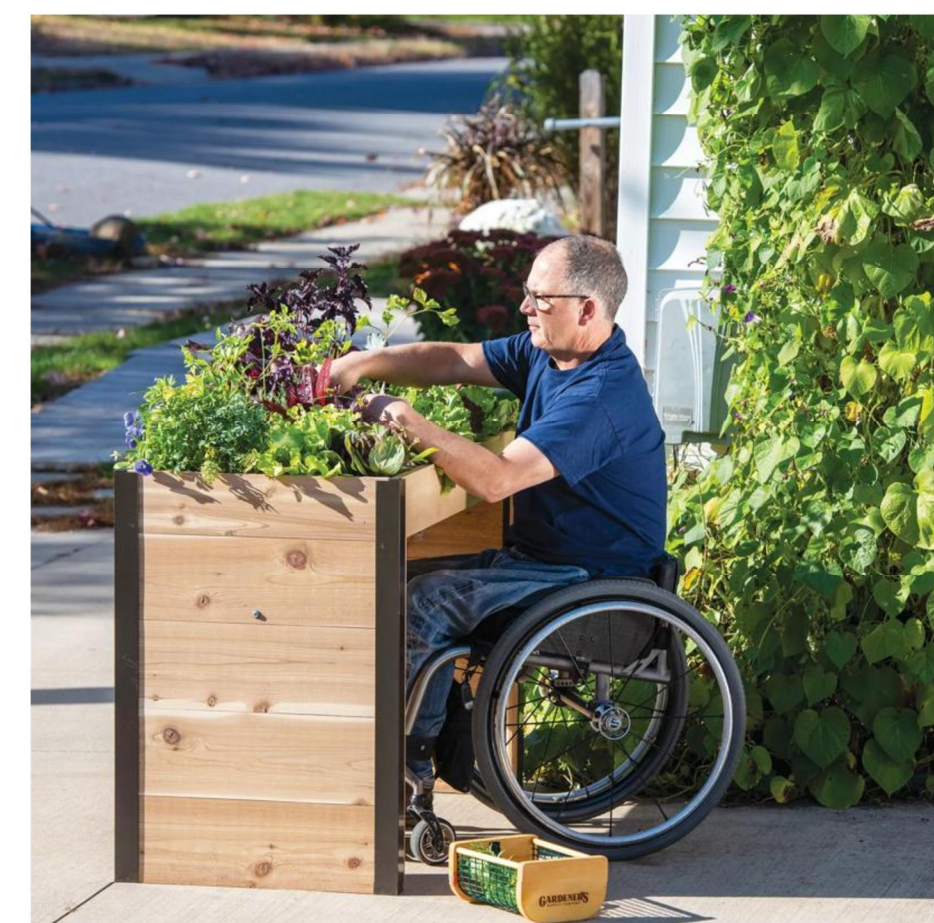
Potting table



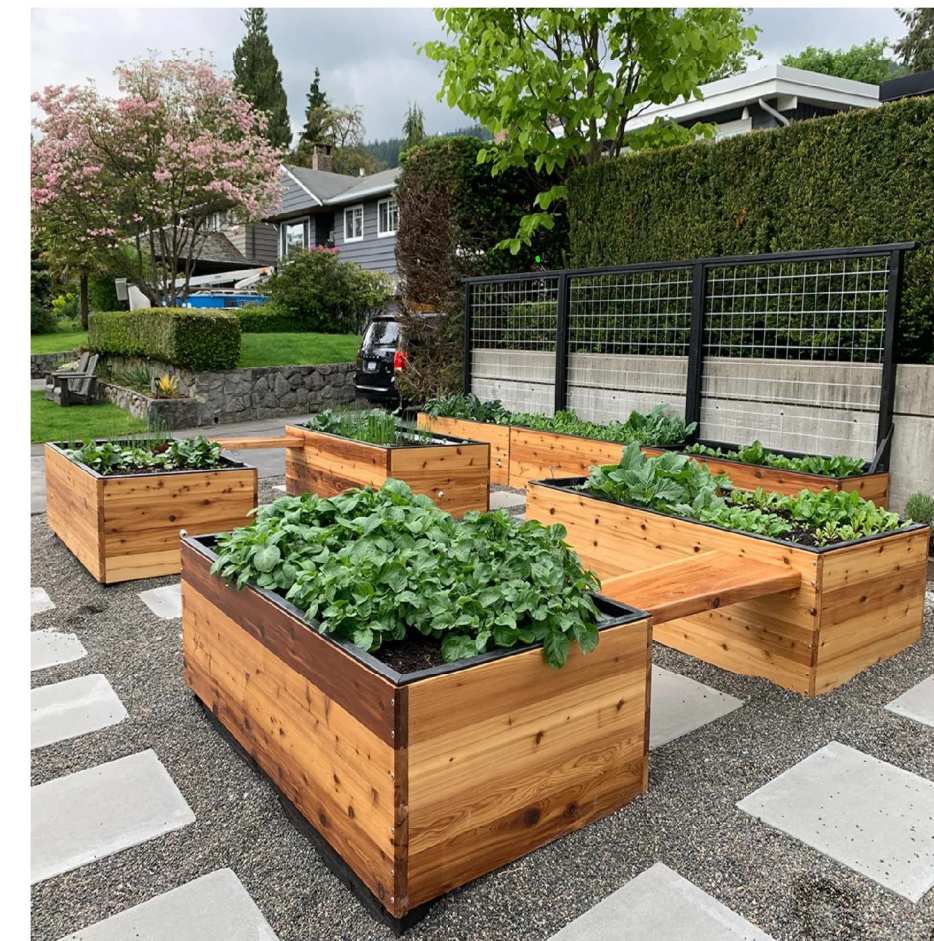
Compost bin

7 POTTING TABLE AND COMPOST BIN

1:10



Accessible Community Planter



Community Planter

8 COMMUNITY PLANTER

1:10

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Stepping stumps



Play house

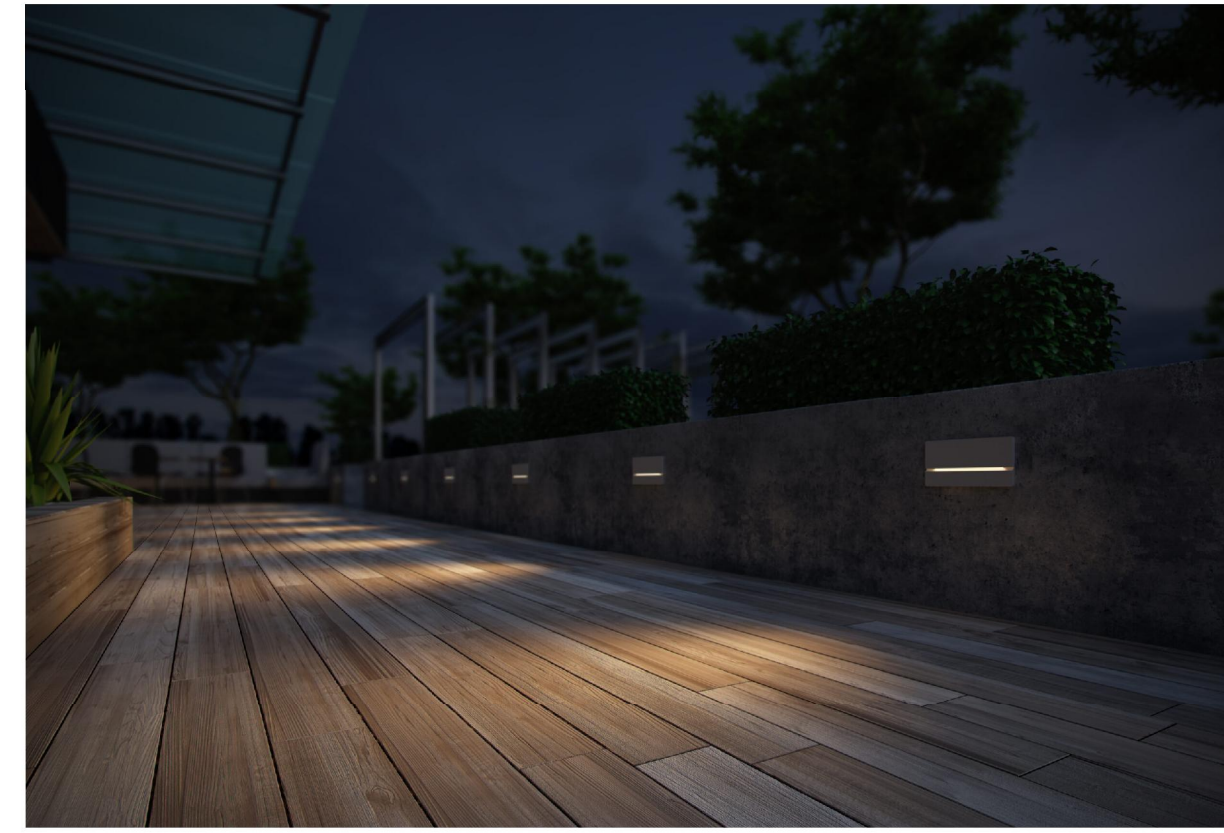
1 STEPPING STUMPS AND PLAY HOUSE

1:10



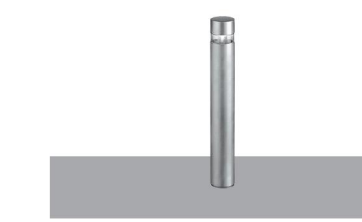
2 YOGA AREA

1:1



3 WALL LIGHT

1:1



4 BOLLARD LIGHT

1:1

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10 ROOF PATIO | GARDEN



11 ROOF PATIO | COVERED SEATING



12 ROOF PATIO | RECREATION



13 SOUTHERN YARD



14 SOUTHERN YARD | PLAY ZONE



15 SOUTHERN YARD | DOG RUN

EXTERIOR RENDERS - ROOFTOP & YARD AMENITY

DP RESUBMISSION

KWS HOUSING & PRHC OFFICES

KELOWNA, B.C.

SCALE
JOB NO. 22052

2023.07.13

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